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SPANISH OAKS VILLAS'

SPECIFIC PLAN

2526 E. HUNTINGTON DRIVE

DUARTE, CALIFORNIA

SPANISH OAKS VILLAS' SPECIFIC PLAN
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Purpose of the Specific Plan

The purpose of the Spanish Oaks Villas' Specific Plan is to allow the development of Six (6) detached single family dwelling units on 20,420 sq. feet of land located at 2526 E. Huntington Drive. The Specific Plan process will allow the City to incorporate considerable detail into the Development Plan so as to make the project compatible with the existing neighborhood. This Specific Plan will be a regulatory document establishing land use criteria and development standards for our project, which is 103' x 200' and the adjacent property, which is 125' x 200' (please see attached Page 4-A). The legal description are as follows: APN #8604-011-031 – The West one-half of Lot 28 of Tract 13436 and the East one-half of Lot 27, Tract 13436 as per map recorded in Book 294, Pages 20 and 21 of Maps in the office of the County Recorder of Los Angeles County; 8604-011-032 thru 8604-011-033 – The East ½ of Lot 28 and all of Lot 29, Tract 13436 as per map recorded in book 254, Pages 20-21 of maps in the office of the Recorder of said county; 8604-011-034, 8604-011-035, 8604-011-036 – Lots 21, 22, 23, 24 and 25, Block "W" of Addition No. 2 Monrovia, as per map recorded in Book 23, Page 76 of Miscellaneous Records, in the office of the county Recorder of said County.

The Spanish Oaks' Specific Plan fulfills the intent of the Specific Plan requirements of the State of California and the City of Duarte.

Authority

The Spanish Oaks Villas' Specific Plan has been prepared in conformance with California Government Code, Sections 65450-65457 which regulates the preparation of specific plans. In addition, all applicable ordinances of the City of Duarte have been incorporated into the plan and the final document will replace zoning and land use regulations currently existing on the site. The land use standards outlined in the Spanish Oaks Villas' Specific Plan shall govern all areas within the project.

All ordinances, regulations, policies, and other guidelines applicable to the property not covered in this Specific Plan shall remain in effect. Any development standard not covered or addressed in this document, shall conform to the PUD, Planned Unit Development Zone.

Interpretation

The Community Development Director of the City of Duarte, or assigned designee, shall have the responsibility to interpret the proposed Specific Plan and its provisions. All interpretations shall be in writing to ensure consistency of interpretations. Such interpretations shall be permanently maintained by the City of Duarte and available to the general public.

Physical Setting

This section of the Specific Plan is intended to provide information regarding the physical characteristics of the site and the intended use of the subject property, which is 103' x 200' and the adjacent property, which is 125' x 200' and all parcels 8606-011-031 – The West one-half of Lot 28 of Tract 13436 and the East one-half of Lot 27, Tract 13436 as per map recorded in Book 294, Pages 20 and 21 of Maps in the office of the County Recorder of Los Angeles County; 8604-011-032 thru 8604-011-033 – The East ½ of Lot 28 and all of Lot 29, Tract 13436 as per map recorded in book 254, pages 20-21 of maps in the office of the recorder of said county; 8604-011-034, 8604-011-035, 8604-011-036 – Lots 21, 22, 23, 24, and 25, Block "W" of Addition No. 2 Monrovia, as per map recorded in Book 23, Page 76 of Miscellaneous Records in the office of the County Recorder of said County.

Project Location

The Spanish Oaks' Specific Plan consists of 20,420 sq. feet of vacant property, located at 2516- 2526 E. Huntington Drive in the City of Duarte (Figure 1). The Mount Olive off-ramp provides regional access to the City from the Foothill Freeway (RTE 210) and the San Gabriel River Freeway (RTE 605).

Vehicular access to the site will be provided by Huntington Drive, a major arterial highway that serves as an east/west transportation corridor through the City of Duarte and adjacent cities. The project site is also served by a publicly dedicated alley to the south of the subject property, however, no access from the alley will be provided.

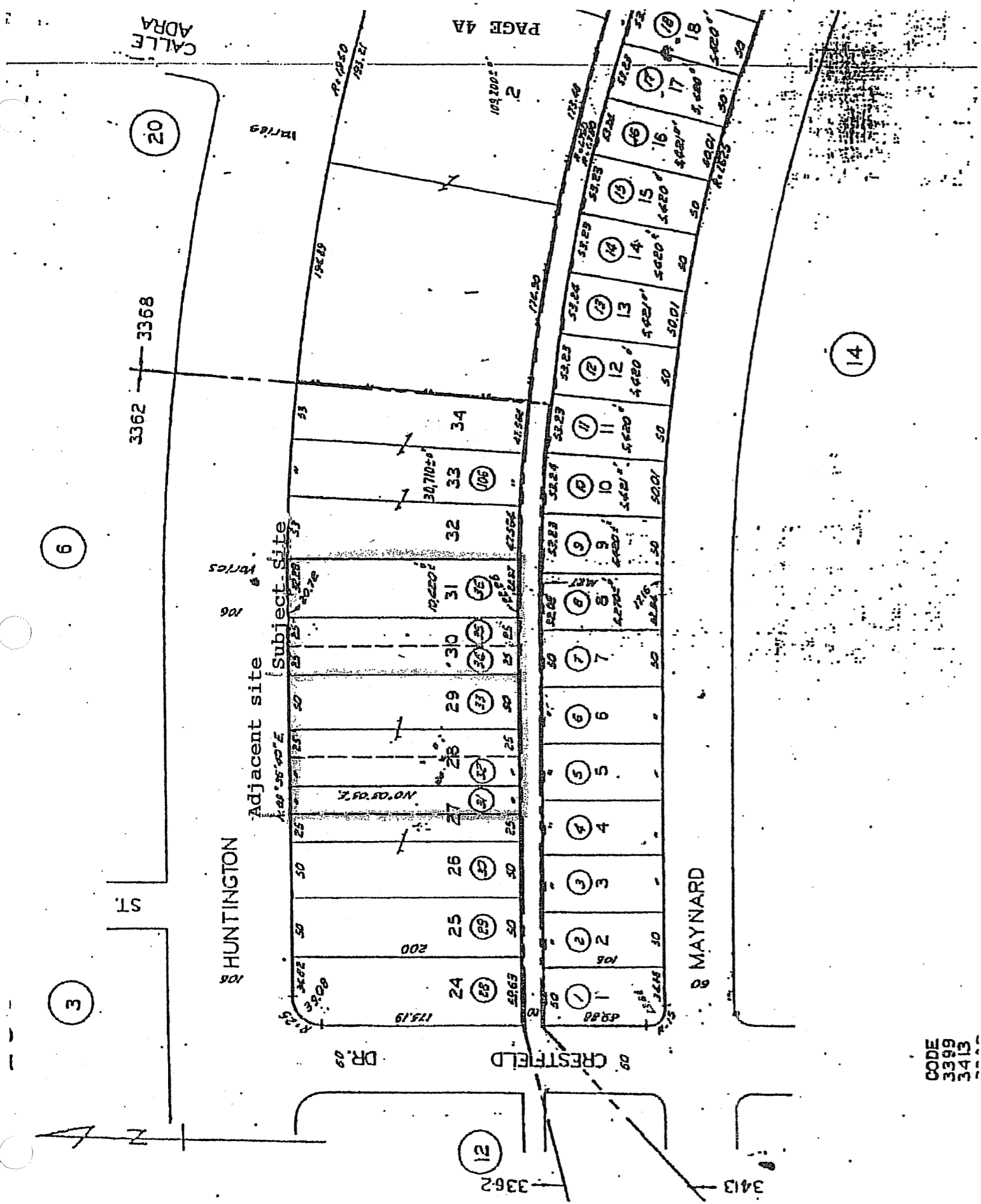
Project Description

The Spanish Oaks Villas' Specific Plan will allow the current development of Six (6) detached single family dwelling units on postage stamp lots and a private street system with associated off-street parking. Access to the site will be from Huntington Drive via a twenty-six foot wide drive approach located at the center of the subject property (Figure 2). There will be no vehicular or pedestrian access from the public alley to the south of the site. The drive approach on Huntington Drive will serve a twenty-six to twenty-nine foot wide private street system.

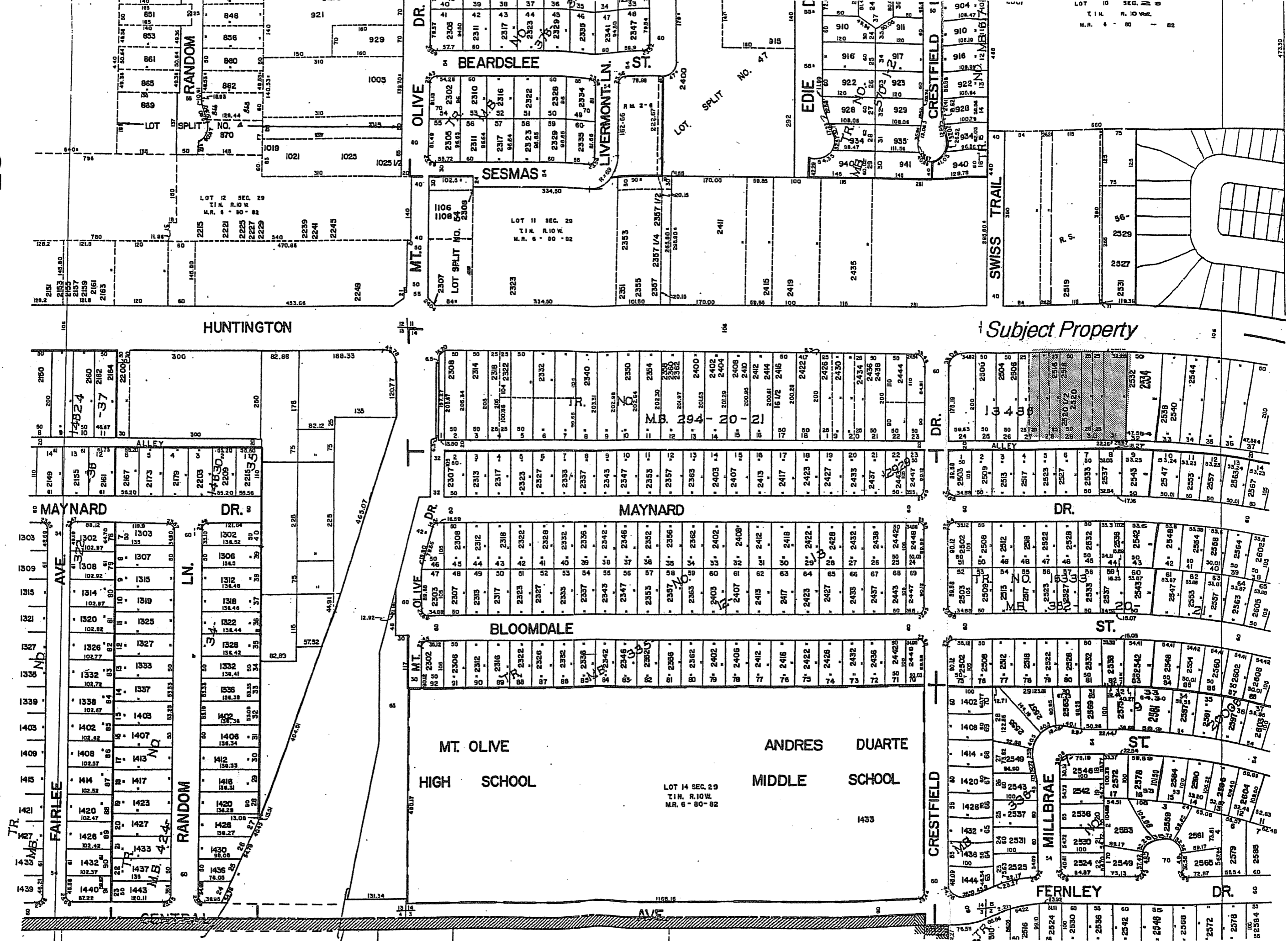
The subject property, as well as, all of the adjacent parcels are of similar width, and identical depth, thus lending themselves favorable to a joint Specific Plan Development. The subject site, as well as, the adjacent parcels have been mapped to show a uniform project can occur, even when the parcels are developed separately.

The proposed development is intended to provide affordable home ownership opportunities for moderate income households. The land use section of this document describes the project in greater detail.

SUBJECT SITE AND ADJACENT PROPERTY



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3399
3413

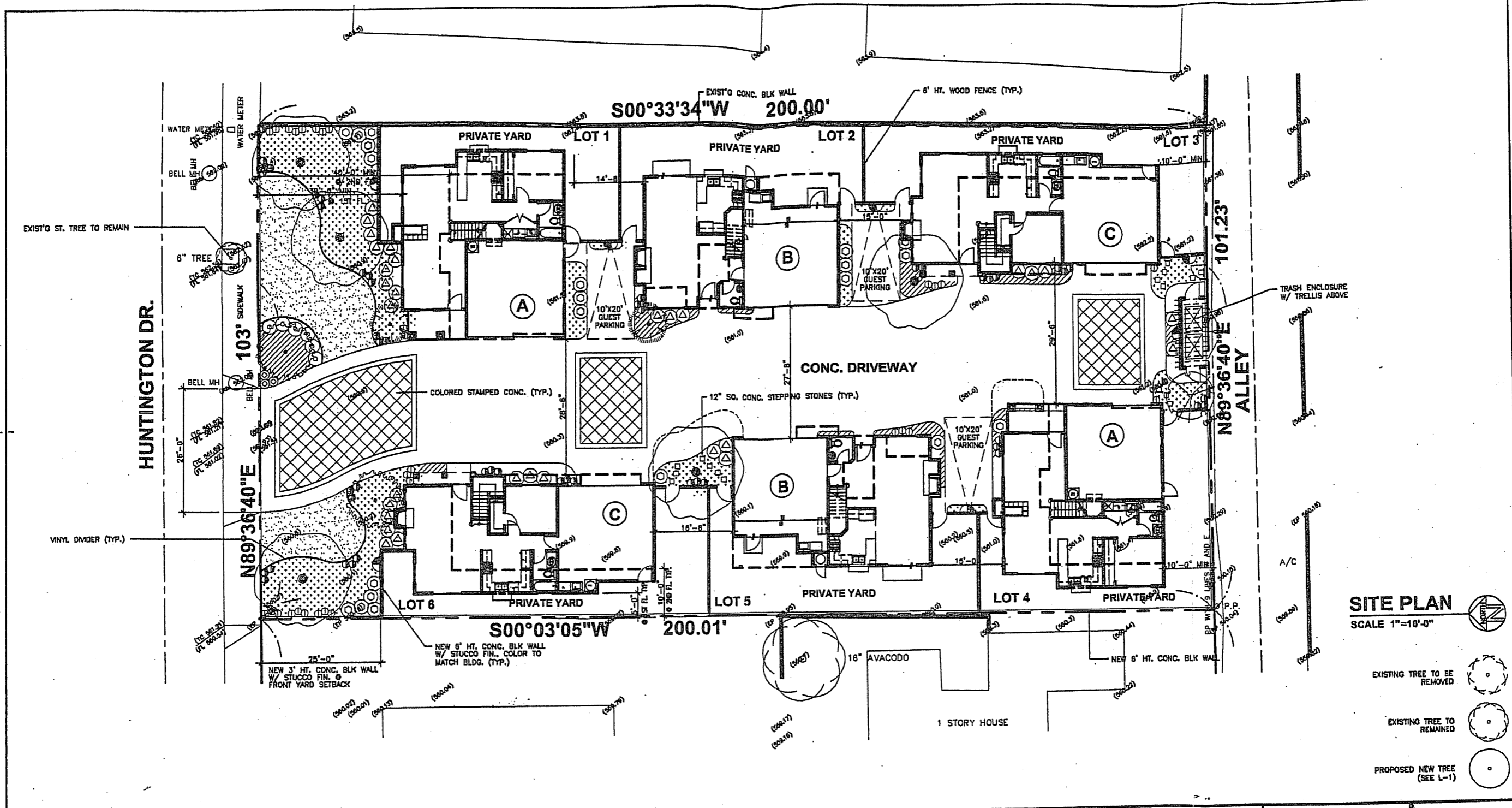


Subject Property

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T. 1 N. R. 10 W.
M. R. 6 - 80 - 82

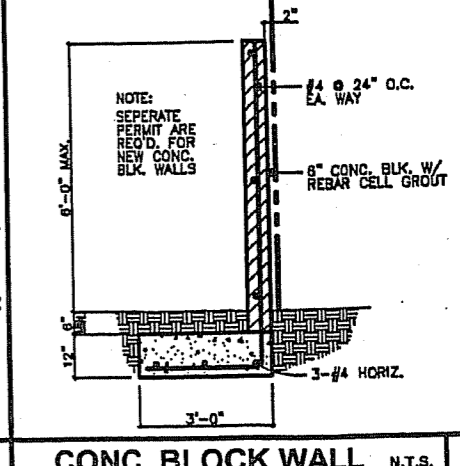
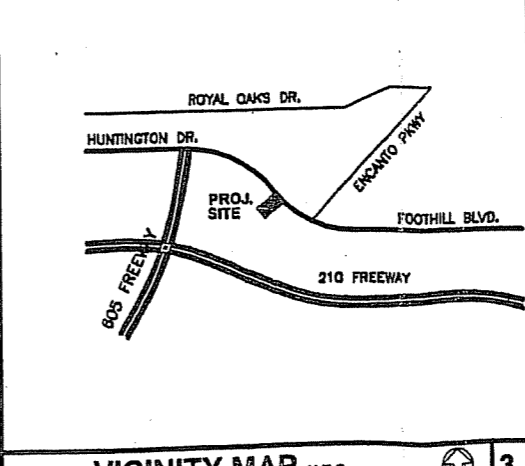
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 Residential Planning
 141 East Duarte Road #201, Arcadia, CA 91006, U.S.A.
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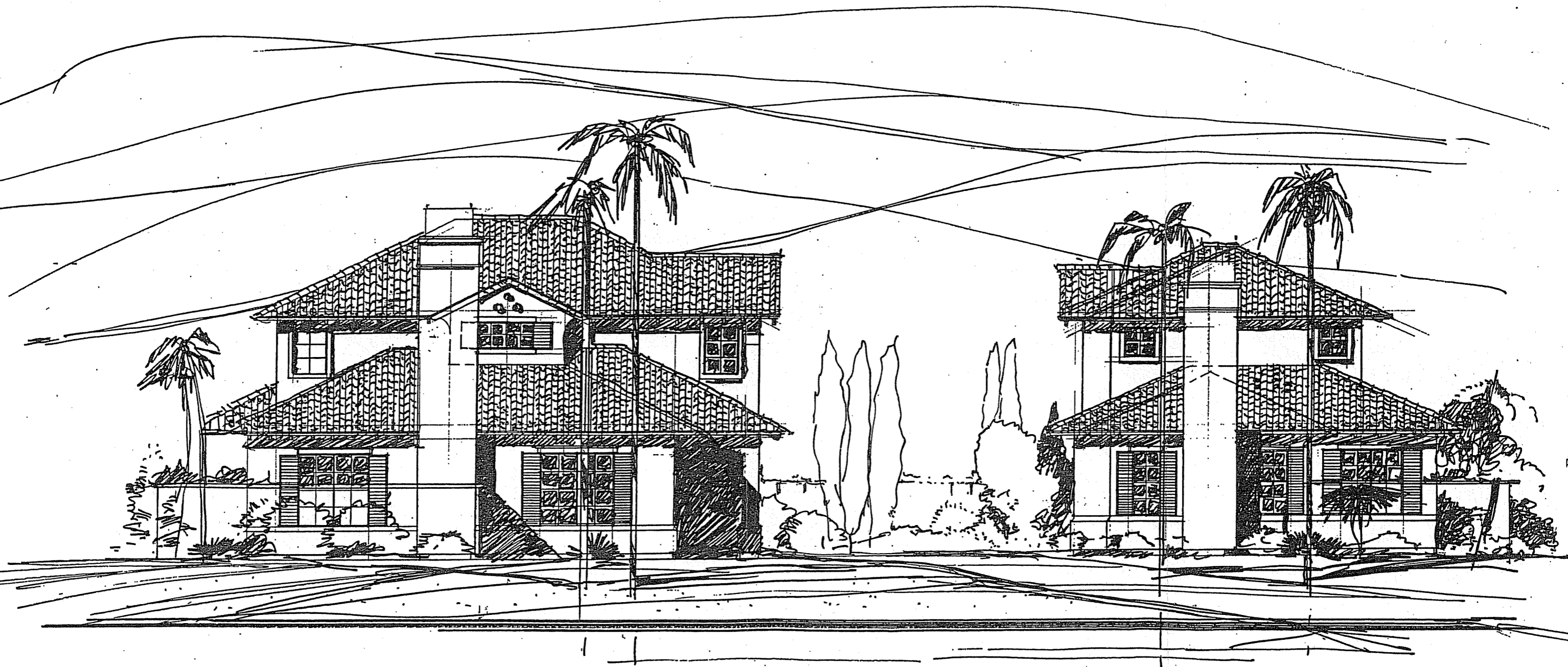
- OWNER: WAKEN DEVELOPMENT LLC, 150 N. SANTA ANITA AVE, ARCADIA, CA 91008
 - PROJECT: PLANNED 6 UNIT DEVELOPMENT
 - LOT SIZE: 20,420 S.F.
 - ZONING: R-4
 - TOTAL DWELLING: 6 P.U.D.
 - LIVING AREA: TYPE A 1,549 SQ.FT. GARAGE (432 SQ.FT.), TYPE B 1,580 SQ.FT. GARAGE (480 SQ.FT.), TYPE C 1,500 SQ.FT. GARAGE (447 SQ.FT.)
 - PARKING PROVIDED: 12 COVERED PARKING, 3 GUEST PARKING
 - DENSITY: 20,420 / 6 UNITS = 3,400 SQ.FT.
 - OCCUPANCY GROUP: R3/U1
 - TYPE OF CONSTRUCTION: V/N
 - BUILDING HEIGHT: 24'-0"
- CODE: THE GOVERNING CODES FOR THIS PROJECT ARE THE 1998 CALIFORNIA BUILDING (CBC), ELECTRICAL (CEC), ENERGY (T24-B), MECHANICAL (CMC), AND PLUMBING (CPC) CODES WITH LOCAL AMENDMENTS.

| LOT NO. | TYPE | LOT SIZE | 1ST FLOOR | GARAGE | 2ND FLOOR | TOTAL BUILDING AREA | LOT COVERAGE | PRIVATE OPEN SPACE |
|---------|------|---------------|-------------|-------------|-------------|---------------------|--|--------------------|
| 1 | A | 1,596 SQ. FT. | 784 SQ. FT. | 432 SQ. FT. | 765 SQ. FT. | 1,981 SQ. FT. | 784 + 432 / 1,989 = 0.640 = 64.0% | 584 SQ. FT. |
| 2 | B | 1,784 SQ. FT. | 596 SQ. FT. | 460 SQ. FT. | 984 SQ. FT. | 2,040 SQ. FT. | 596 + 460 / 1,794 = 0.589 = 58.9% | 619 SQ. FT. |
| 3 | C | 1,966 SQ. FT. | 727 SQ. FT. | 447 SQ. FT. | 772 SQ. FT. | 1,948 SQ. FT. | 727 + 447 / 1,955 = 0.600 = 60.0% | 735 SQ. FT. |
| 4 | A | 2,041 SQ. FT. | 784 SQ. FT. | 432 SQ. FT. | 765 SQ. FT. | 1,981 SQ. FT. | 784 432 / 2,041 = 0.824 = 82.4% | 738 SQ. FT. |
| 5 | B | 1,928 SQ. FT. | 596 SQ. FT. | 460 SQ. FT. | 984 SQ. FT. | 2,040 SQ. FT. | 596 + 460 / 1,928 = 0.547 = 54.7% | 763 SQ. FT. |
| 6 | C | 1,905 SQ. FT. | 727 SQ. FT. | 447 SQ. FT. | 772 SQ. FT. | 1,948 SQ. FT. | 727 + 447 / 1,905 = 0.816 = 81.6% | 685 SQ. FT. |



6 - UNIT P.U.D.
 2526 HUNTINGTON DR.
 DUARTE, CA

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HUNTINGTON DR.

Conformance with City Plans

The development of the subject property is regulated by the City of Duarte through its General Plan, Zoning Ordinance and the Huntington Drive Phase II Redevelopment Plan. The following discussion reviews the proposed project and determines conformity with the existing plans.

General Plan

The City's General Plan designates the subject property as high density residential. Under this land use classification, the site could be developed with apartments, condominiums or townhouses at twenty-one (21) to twenty-eight (28) dwelling units per acre. The proposed development has an overall density of fifteen units to the acre. Therefore a General Plan Amendment to multiple family residential (medium density) will be needed.

The Circulation Element of the City's General Plan is directly related to the Land Use Element and its policies. The Circulation Element incorporates the planned growth of the subject property on the City's circulation system. The proposed Specific Plan will not impact the existing system.

As stated earlier, this project will provide affordable housing opportunities for moderate income households. This concept is directly related to the Housing Element's goal of increasing home buying opportunities for low and moderate income households.

Zoning

Current zoning on the subject property consists of the R-4, Multiple Residential Zone (High Density). This classification allows the development of apartments, condominiums and townhomes at twenty-one to twenty-eight units to the acre. The specific plan will replace the R-4 zoning regulations and constitute zoning for the site. All development standards and land use regulations are defined in this document. A zone change from R-4 to Specific Plan (SP) is therefore required.

Redevelopment Plan

The subject property is located in the Huntington Drive Phase II Redevelopment Project Area. All uses proposed to be located in the project area shall be approved by the Redevelopment Agency. A major objective of the redevelopment plan is to encourage and facilitate the construction of high density residential development. It is intended for new residential development to be compatible with adjacent properties and be well landscaped to enhance the living environment. The proposed development meets and exceeds these objectives.

Development Plans

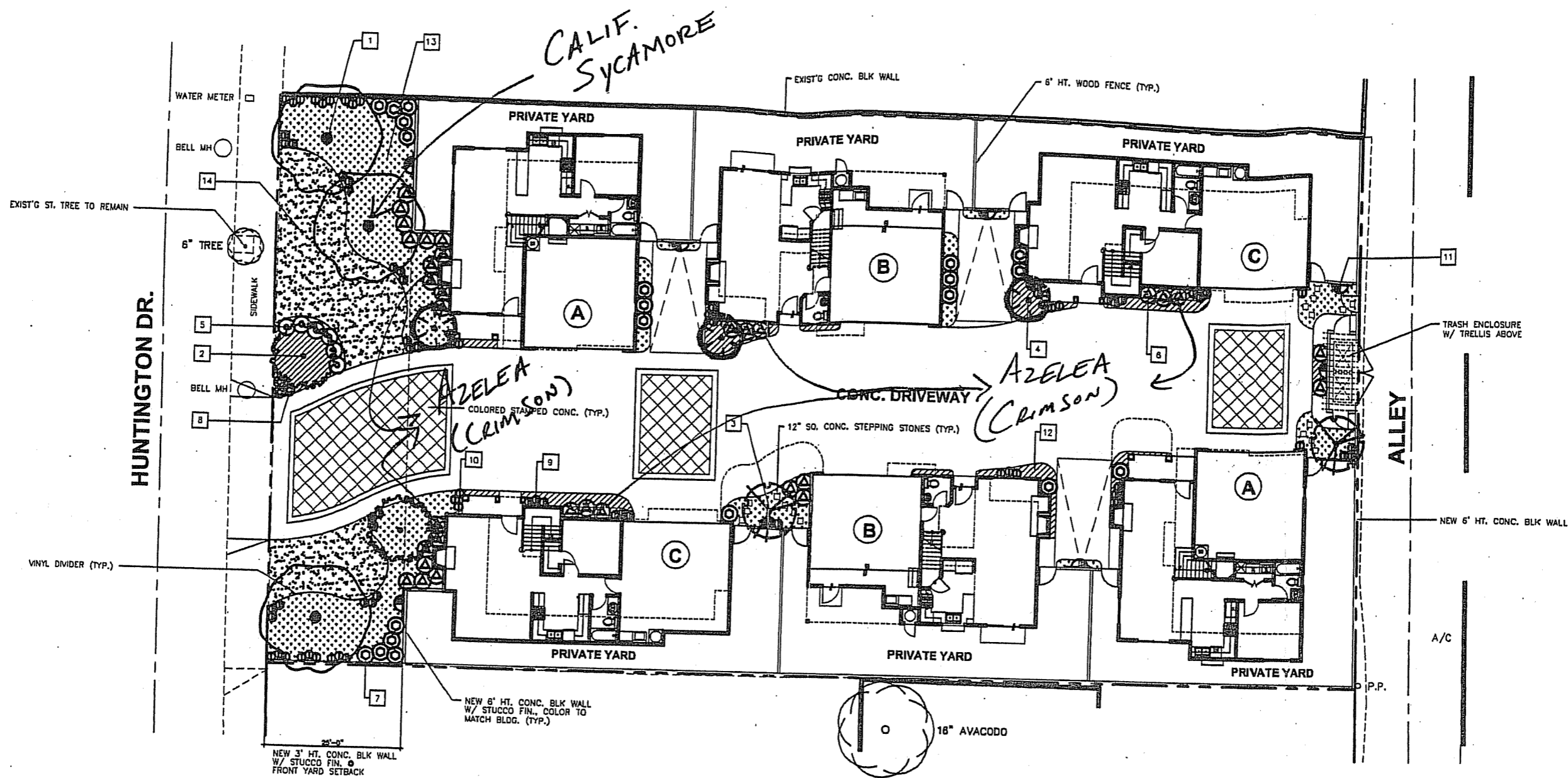
The development plan consists of the following components; land use, circulation, landscaping, architectural concepts, and public infrastructure. The following discussion describes these plan components in greater detail.

Land Use

The proposed land use for the project consists of detached single family dwelling units on postage stamp lots. The project has been designed to be commensurate with similar developments on Huntington Drive. The project will be subdivided into six (6) residential lots, ranging in size from 1,794 square feet to 2,041 square feet. The remainder of the site will be developed with a twenty-six to twenty-nine foot wide private drive aisle and off-street parking facilities.

Each of the lots will be developed as a postage stamp lot to accommodate both the housing unit and private open space (Figure 3). In addition, areas of each lot that are outside the private open space will be placed in a common landscape area to be maintained by the Homeowners' Association (Figure 4).

As previously stated, each residential unit has private open spaces consisting of ground level patios and courtyards. Those units off of Huntington Drive will have front yards.



CONCEPTUAL LANDSCAPE PLAN
 SCALE : 1"=10'-0"

PLANT LEGEND

| SYMBOL | ITEM NO. | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY | TYPE | SYMBOL | ITEM NO. | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY | TYPE |
|--------|----------|---------------------------------|--------------------------|---------|----------|------------|--------|----------|-----------------------------------|-----------------------------|--------|----------|--------------|
| | 1 | PISTACIA CHINENSIS | CHINESE PISTACHE | 48" BOX | 3 | TREE | | 8 | BOUGAINVILLEA 'CRIMSON JEWEL' | CRIMSON JEWEL BOUGAINVILLEA | 5 GAL. | 3 | SHRUB |
| | 2 | LAGERSTROEMIA INDICA 'CHEROKEE' | RED CRAPE MYRTLE | 48" BOX | 2 | TREE | | 9 | HEMEROCALLIS HYBRID 'ORANGE' | ORANGE DAYLILY | 1 GAL. | 48 | SHRUB |
| | 3 | ARBUTUS UNEDO | STRAWBERRY TREE | 15 GAL. | 2 | TREE | | 10 | AGAPANTHUS AFRICANUS 'BLUE' | LILY OF THE NILE | 1 GAL. | 32 | SHRUB |
| | 4 | SOLANUM RANTONNETII | PARAGUAY NIGHTSHADE | 15 GAL. | 3 | PATIO TREE | | 11 | TECOMARIA CAPENSIS | CAPE HONEYSUCKLE | 5 GAL. | 7 | VINE |
| | 5 | RHAPIOLEPIS INDICA 'PINK LADY' | PINK LADY INDIA HAWTHORN | 5 GAL. | 6 | SHRUB | | 12 | PELARGONIUM FELTATUM (PINK & RED) | IVY GERANIUM | FLATS | 8" O.C. | GROUND COVER |
| | 6 | PITTOSPORUM TOBIRA 'VARIEGATED' | VARIEGATED MOCK ORANGE | 5 GAL. | 32 | SHRUB | | 13 | FRAGARIA CHILOENSIS | WILD STRAWBERRY | FLATS | 12" O.C. | GROUND COVER |
| | 7 | NANDINA DOMESTICA 'COMPACTA' | DWARF HEAVENLY BAMBOO | 5 GAL. | 21 | SHRUB | | 14 | MARATHON II | TALL FESCUE | SOD | SOD | LAWN |

NOTE: AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALL IN ALL PLANTING AREAS.

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TERRY LEE DESIGN GROUP
 220 WEST LESLIE DRIVE
 SAN GABRIEL, CA 91775
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6 UNIT P.U.D.
 2526 HUNTINGTON DRIVE
 DUARTE, CA 91010

PROJECT: LANDSCAPE PLAN
 Date: 03-14-01
 Scale: 1"=10'-0"
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TABLE II
Specific Plan
Site Analysis

| | CURRENT DEVELOPMENT | Future Dev |
|---|---------------------------------|----------------|
| Total Area | 20,420 sq. ft. | 25,000 sq. ft. |
| Building Area including | 6,892 sq. ft. 33.8% | |
| Public Streets | 4,940 sq. ft. 24% | |
| Open Space | (7,988) sq. ft. common space | |
| Number of Units | (6) units | |
| Dwelling Unit Density | 20,420/6 = 3,403.3 sq. ft./unit | |
| Parking | (15) parking spaces | |
| Open Spaces | (3) open spaces | |
| Covered Spaces | (12) covered spaces | |
| Lot Areas | | |
| Plan I (Typical) | | |
| Lot Size (Lot 1) 1,899 sq. ft. | (Lot 4) 2,041 sq. ft. | |
| Building Footprint 1,296 sq. ft. 68% | 1,296 sq. ft. 63% | |
| Open Space 603 sq. ft. | 745 sq. ft. | |
| Plan II (Typical) | | |
| Lot Size (Lot 2) 1,794 sq. ft. | (Lot 5) 1,928 sq. ft. | |
| Building Footprint 1,073 sq. ft. 60% | 1,073 sq. ft. 56% | |
| Open Space 721 sq. ft. | 855 sq. ft. | |
| Plan III (Typical) | | |
| Lot Size (Lot 3) 1,955 sq. ft. | (Lot 6) 1,905 sq. ft. | |
| Building Footprint 1,212 sq. ft. 62% | 1,212 sq. ft. 64% | |
| Open Space 726 sq. ft. | 693 sq. ft. | |

Circulation

The Specific Plan allows for the development of a twenty-six (26) foot to twenty-nine (29) foot wide private driveway with additional off-street parking. The circulation system allows vehicular access to each individual lot through a two-car garage with automatic roll-up garage door. Dispersed throughout the site are 3 open parking spaces for visitor and resident parking. As indicated earlier, access to the site is provided by a twenty-six foot single drive approach off Huntington Drive.

The internal circulation system features a concrete street and decorative concrete paving. No vehicular access to the alley will be allowed unless Fire Department regulations require an emergency gate.

Off-street parking of recreational vehicles, trailers and boats will be prohibited. On-street parking will also be prohibited. The internal street system will be privately maintained by the Homeowners' Association.

Landscaping

In order to make the site attractive and more livable, the use of mature landscaping will be utilized. Landscaping will be used as visual and noise buffers along Huntington Drive. Medium scale and canopy trees will define the main entry. Trees, annuals, shrubs, turf and groundcover will be used extensively throughout the development.

All landscaped areas will be maintained by the Homeowners' Association with the exception of the Private areas. All areas maintained by the Association will be placed in the common landscape budget. Conceptual plan will include mature, stately trees (48" box minimum) in front yard. Tree species used in the project to the East and use of rock boulders will be implemented.

Architectural Concepts

Given the environmental setting of the site, it is important that the development be of high quality and commensurate with previously approved housing developments on Huntington Drive. The architectural style should enhance the view from Huntington Drive as well as adjacent properties. With this in mind, the development will utilize the City's "Early California" design theme. The overall architectural theme of the Project represents the Classic Spanish theme in the architecture prevalent throughout the City of Duarte. The architectural concepts should remain the same for the future developments within this Specific Plan. That would include Spanish themed roof tiles, stucco exteriors, shutters, and any other architectural enhancements. The project will utilize various setbacks, exterior shapes and elevations to maximize the aesthetic appeal throughout the site and along Huntington Drive (Figure 5).

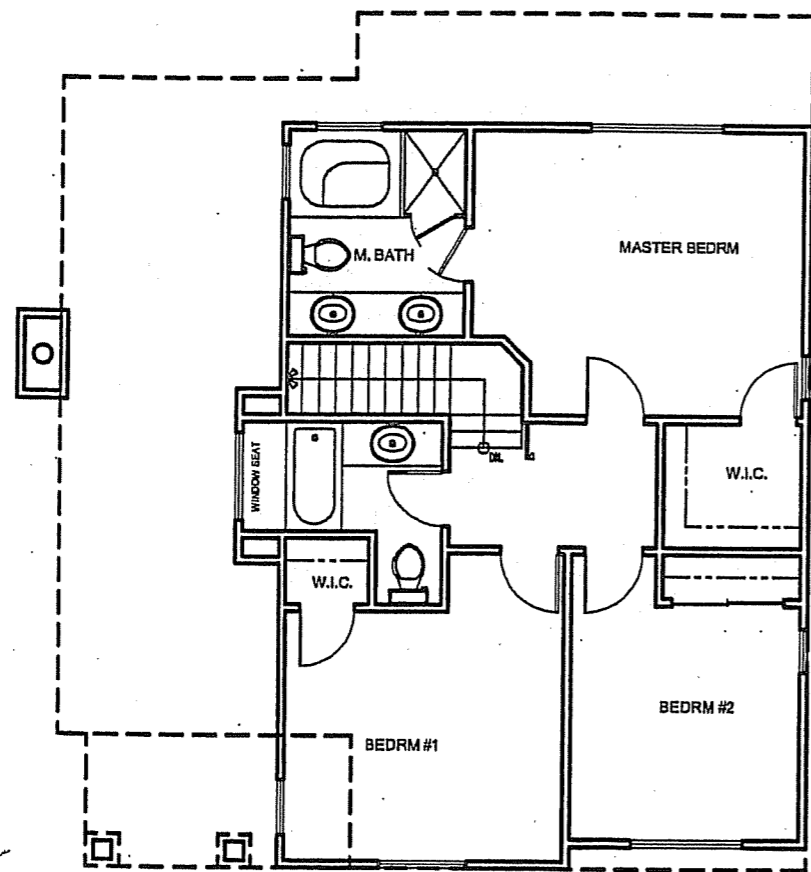
The development will feature three different floor plans (Figure 6, 7, 8) with 3 different elevations. Some of the exterior design features include concrete tile roofs, attached 2-car garages with direct interior access, coordinated exterior and interior color combinations, wood shutters, elegant entries with solid wood doors and bronzed hardware and side yard masonry walls.

There will be three distinct floor plans with slight variations. All plans will feature a kitchen, 2.5 to 3 bathrooms, living room and dining area and three to four bedrooms. Table II provides a breakdown of the unit type. Interior designs will feature in some plans, vaulted ceilings in the living room. Ceramic tile floors in entry, fireplace, central air for heating and cooling, pre-wired cable rooms, major manufacture appliances, walk-in closets, recessed lighting and wood cabinets.

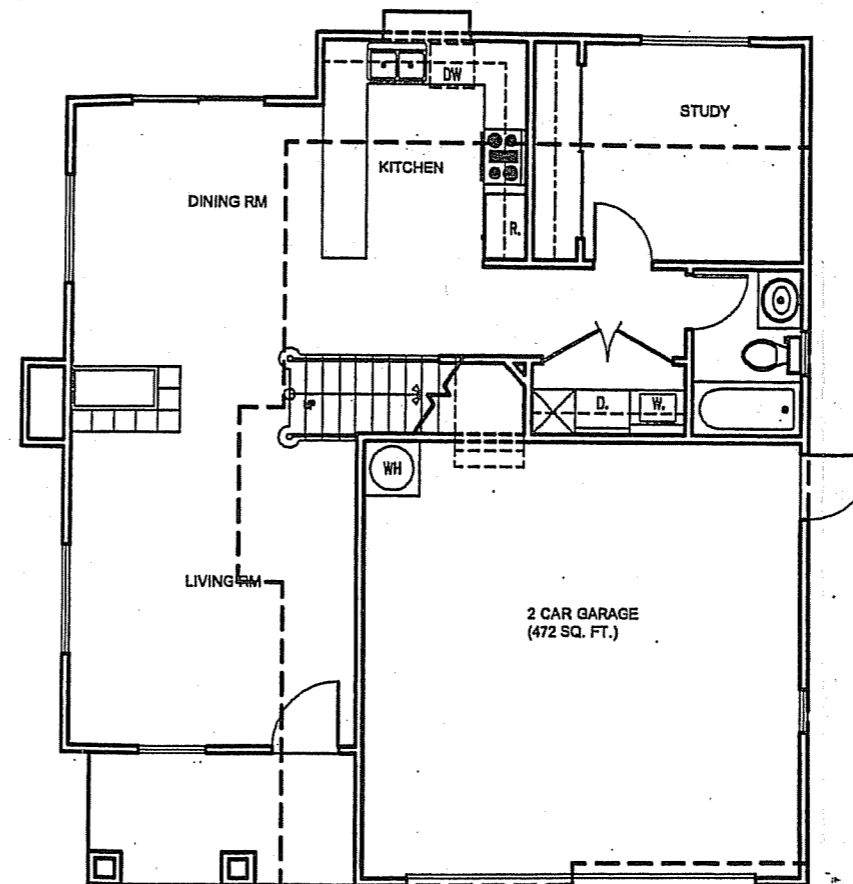
TABLE II

Specific Plan
Proposed Floor Plans

| Plan Type | Square Footage | Bedrooms | Baths | Total Units |
|-----------|----------------|----------|-------|-------------|
| A | 1,549 | 3 | 3 | (2) |
| B | 1,580 | 4 | 2.5 | (2) |
| C | 1,499 | 4 | 3 | (2) |



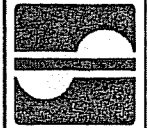
SECOND FLOOR PLAN (PLAN A)
 SCALE 1/4" = 1'-0" 765 SQ. FT.



FIRST FLOOR PLAN (PLAN A)
 SCALE 1/4" = 1'-0" 784 SQ. FT.

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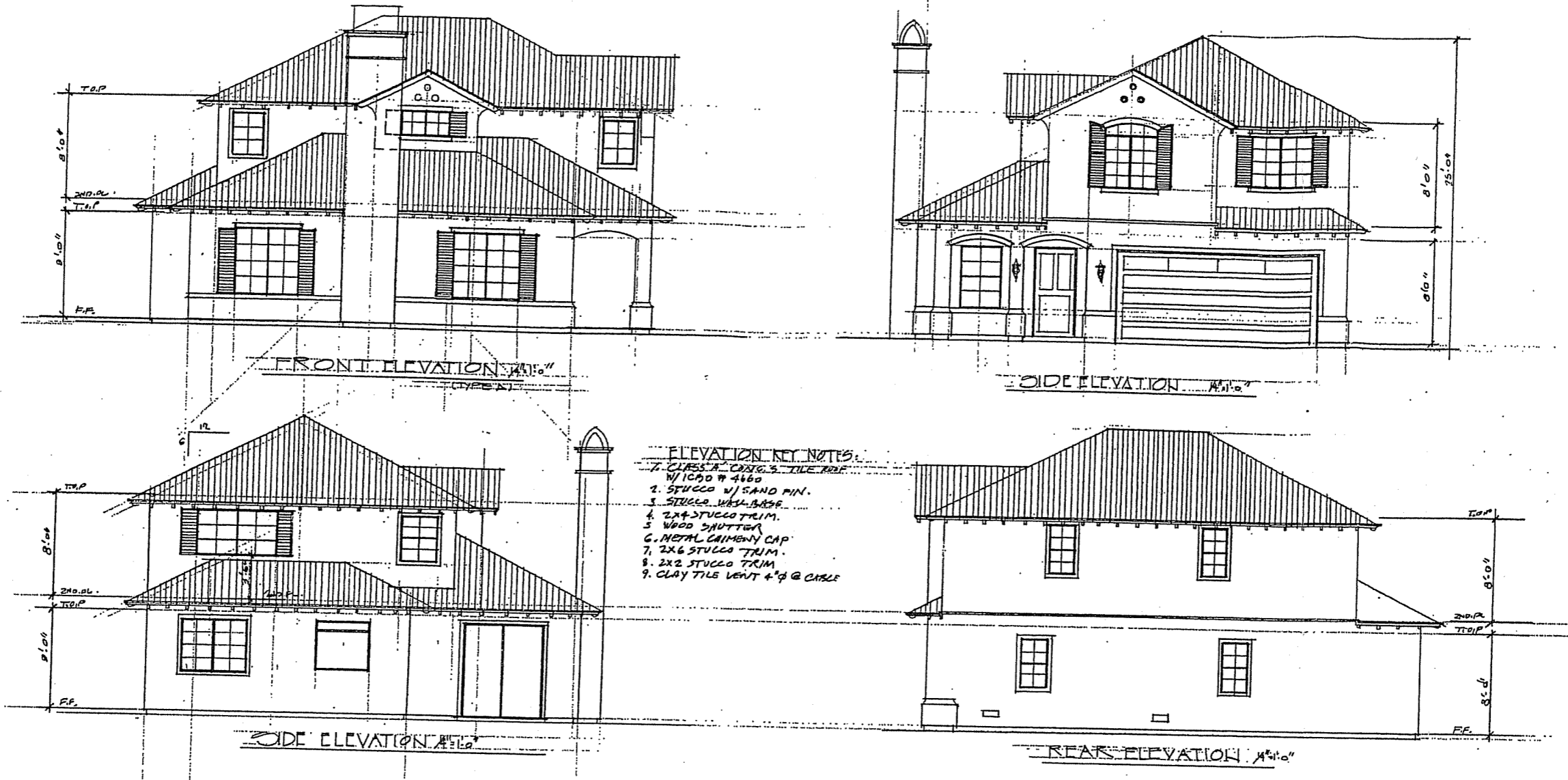


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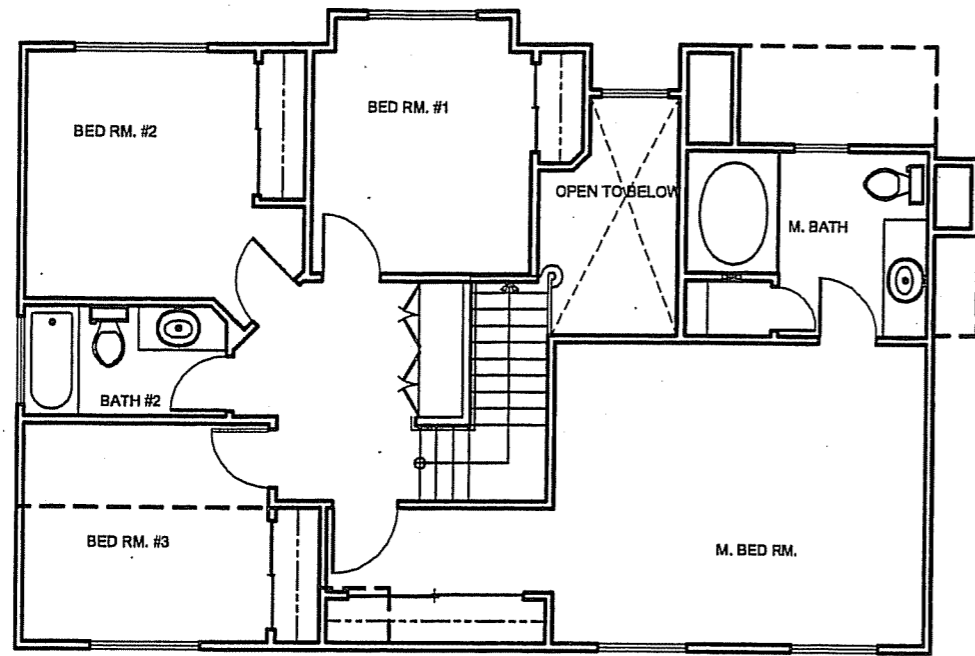
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 Tel: (626) 446-0048 • Fax: (626) 446-7090



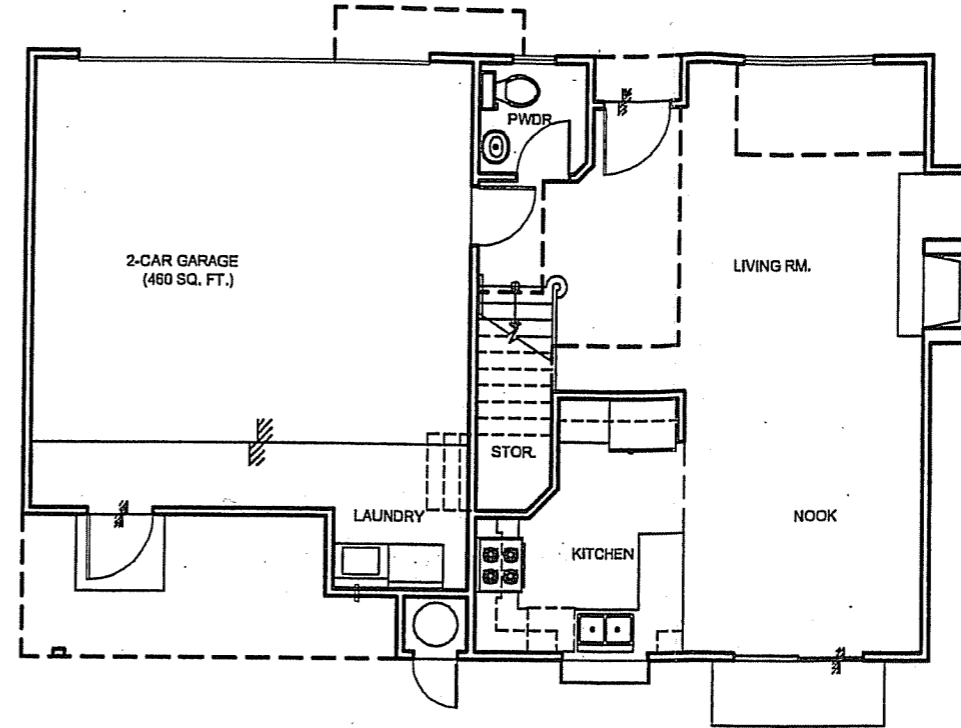
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FIGURE 7 PAGE 16



SECOND FLOOR PLAN (TYPE B)
 SCALE: 1/4" = 1'-0" (984 S.F.)



FIRST FLOOR PLAN (TYPE B)
 SCALE: 1/4" = 1'-0" (588 S.F.)

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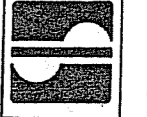
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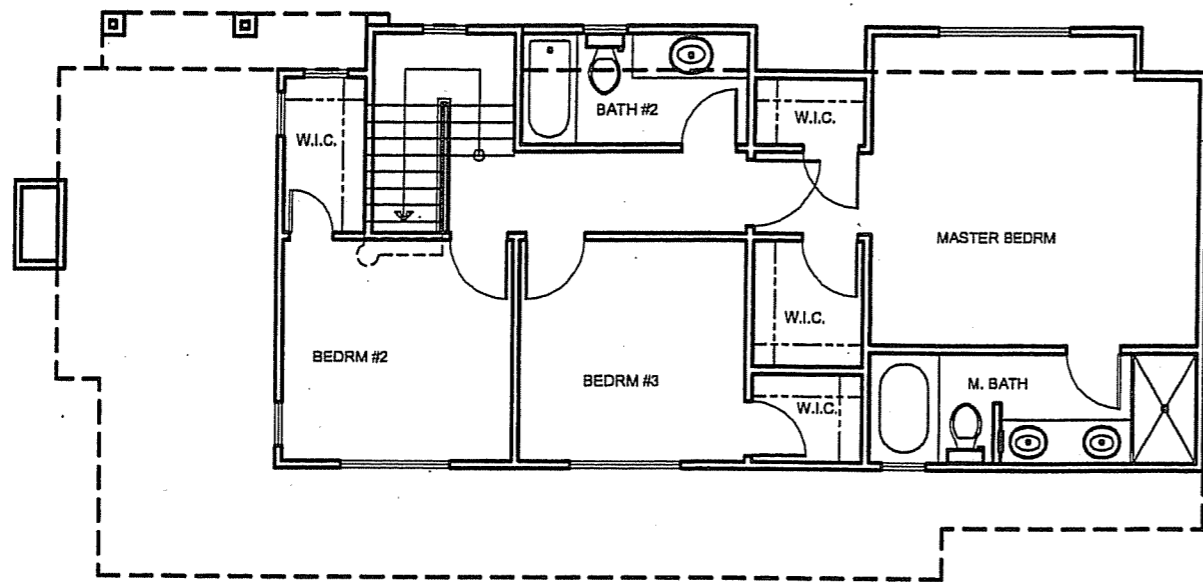
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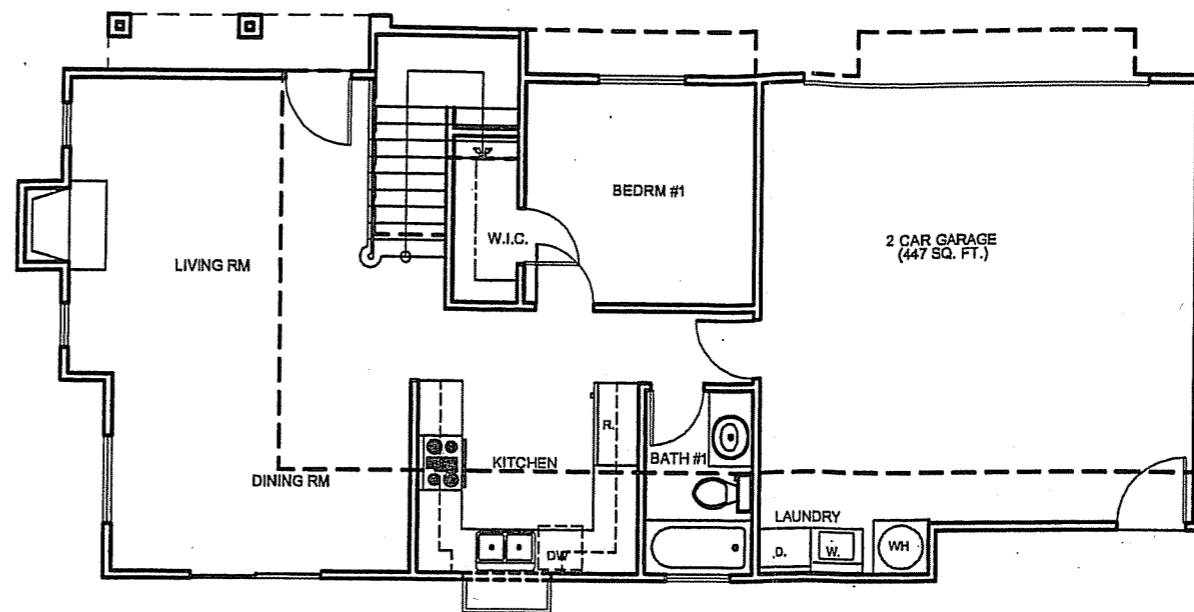
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FIGURE 9 PAGE 18



SECOND FLOOR PLAN (TYPE C)
 SCALE: 1/4" = 1'-0" (772 S.F.)



FIRST FLOOR PLAN (TYPE C)
 SCALE: 1/4" = 1'-0" (727 S.F.)

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 • Residential Planning •
 141 East Duarte Road #201, Arcadia, CA 91709, U.S.A.
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6 UNIT P.U.D.
2526 HUNTINGTON DR.
ARCADIA, CA

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|-------|------------|
| Date | 03-09-2001 |
| Scale | SEE PLAN |
| Drawn | |
| Job | 2084 |
| Sheet | |

A-3

Infrastructure/Public Services

The project site is located in an area of the City which has a completed infrastructure. The following section discusses this infrastructure and the necessary steps required to tie the project into the system.

Existing water runoff is generally in a south easterly direction towards the alley. A grading plan shall be submitted and approved prior to the development of the property. There are no drainage problems on the site.

Access to the site is provided by Huntington Drive. A new private drive will be constructed that will feature a twenty-six to twenty-nine foot wide street.

The project site is located in Los Angeles County Sanitation District No. Twenty-two. The project will be connected to the public sewer system at the time of development. Plans will be submitted to and approved by the Los Angeles County Sanitation District and City Engineer.

The disposal of solid waste will be handled by Burrtec Disposal Systems. Automated service will be provided to the development via a centralized trash enclosure. Plans detailing the location and materials of the trash enclosures shall be submitted to and approved by the City's Architectural Review Board.

A variety of public transportation opportunities will be available to new residents in the development. The Foothill Transit District operates a number of bus lines throughout the City. Foothill Transit Line No. 187 travels along Huntington Drive. The line allows an individual to utilize other bus lines within the City of Duarte as well as to other lines that service other portions of the County and the surrounding region. Regional transit is also provided by the Los Angeles County Metropolitan Transportation Agency (MTA).

In addition, the City currently operates a transit system on a fixed route basis. The proposed Specific Plan will not require an expansion of the existing transportation services.

Development Standards

I. Purpose and Intent

The following development standards are applicable to all dwellings and structures constructed within the Specific Plan area. The purpose of these standards is to provide for a residential environment, sensitive to the area in which it is intended to be developed.

II. General Development Standards

1. Each residential structure or dwelling unit shall be located on an individual parcel. There shall be no more than one residential dwelling unit per parcel.
2. Each parcel of land permitted to be developed shall have vehicular access from the common driveway.
3. The overnight and/or outdoor storage of recreational vehicles, boats, trailers, etc., is prohibited in the Specific Plan area, except for temporary loading and unloading.
4. Accessory structures not attached to the main structure are prohibited.
5. Any development standard not provided for in this Specific Plan shall be in accordance with the PUD, Planned Unit Development Zone.
6. All utilities into and on the site shall be placed underground.
7. Outdoor lighting shall be decorative and approved by the Architectural Review Board.
8. Architectural design and features, landscaping, pavement, colors and roofing and building materials are subject to review and approval by the Architectural Review Board.

III. Permitted Uses

1. Detached single family units subject to the provisions of the development standards of this Specific Plan.
2. Spas, fountains, outdoor recreation facilities or related improvements.
3. Off-street parking structures.
4. Home Occupancy permits.
5. Signs shall be permitted for the identification of the development only, and subject to approval by the City's Architectural Review Board. Other types of signs shall be prohibited.
6. Covered patios, subject to Architectural Review Board.
7. Home satellite dishes, no larger than 24" in diameter.

IV. Uses Expressly Prohibited

The following uses are expressly prohibited in the Specific Plan area:

1. Other uses not specifically listed in Section IV.
2. Automotive Repairs.
3. Violations of the established covenants, conditions, and restrictions (CC & R's).

V. Permitted Temporary Uses

1. Real Estate signs relating to the sale, lease, or other disposition of real property on which the sign is located, are permitted as set forth in the Duarte Municipal Code. The location of such signs shall be subject to the review and approval by the City's Architectural Review Board.

VI. Site Development Standards

1. Minimum Lot Size – 1,794 Square Feet.

2. Maximum Building Height – 24 Feet.

Exceptions: Roof structures (i.e. Ventilating fans, chimneys, domestics radios and television masts) may exceed the maximum building height subject to approval by the City's Architectural Review Board.

3. Building Setbacks: Front yards shall be measured perpendicular to the property line and shall be permanently maintained. At no point shall new development be allowed to occur which reduces any setback from its original design. No building or structure shall occupy any required yard area. The side yard that has been dedicated to the adjoining property shall remain open and no windows shall be allowed on any addition that follows that wall. 2-3' minimum landscaped setback (for house only) along private street.

- a. Front yard - 30' First Story, 40' Second Story. Privacy walls may encroach 5' into front yard setback with ARB approval.
- b. Side yards – Five (5) modulating feet. Second story minimum 10 feet.
- c. Rear yard – 10 feet.
- d. Eaves, cornices, and other architectural features. Architectural features such as eaves, cornices, canopies, cantilevered roofs and chimneys and wing walls may project into the required setback. This projection shall be limited to no more than half of the setback distance, but no less than 36" from side or rear property lines. Limited projections shall be allowed on the side yard that is a dedicated easement to the adjoining property subject to approval by the Architectural Review Board.
- e. Covered patios must be setback a minimum of 5 feet from property line.
- f. Spas must be located no closer than 5' from property line.

4. Lot Coverage: Buildings and structures shall not occupy more than 70% of each parcel.

- a. No accessory structures, air conditioners, or pool or spa equipment shall be located to occupy any portion of the front setback area.

5. **Parking:** Each dwelling unit shall have and maintain two covered parking spaces. Said spaces shall have garage doors with automatic garage door openers. Open parking shall be designed at one (1) space per two (2) units.

6. **Walls:** No wall shall exceed six (6) feet in height. The front yard wall shall be no more than 42" in the front 25'. All walls shall be decorative and be approved by the City's Architectural Review Board.

Required Approvals

The following documents will be prepared for approval by the City of Duarte to ensure that the development of the site proceeds in an orderly fashion. These applications shall be approved prior to the issuance of building permits.

Environmental Review

The City of Duarte will prepare an environmental review of the Specific Plan as required by the California Environmental Quality Act (CEQA) to determine the potential environmental effects.

Specific Plan

This Specific Plan will be reviewed and approved by the City of Duarte to provide land use, design, and other controls in the project area and to insure conformance with the City's General Plan.

Architectural Review Board

The developer of the site shall prepare and record Covenants Conditions and Restrictions for the site. The CC & R's shall establish an architectural review committee composed of current property owners. All future architectural plans shall be approved by the Architectural Committee and the City's Architectural Review Board. Plans shall conform to all regulations of the Specific Plan.

Redevelopment Agency

Per California Redevelopment Law Health & Safety Code 33413(b)(2), housing developments produced in the project areas must make 15% of the units available to low to moderate incomes of which 40% of the 15% (or 6% of the total) must be made available to very low incomes. This Specific Plan is subject to those requirements, as the subject property is within the Huntington Drive Phase II Project Area.

Tentative Tract Map

A Tentative Tract Map shall be prepared and submitted to the City of Duarte for its review and approval. Said map shall be consistent with this Specific Plan.

Conditions, Covenants and Restrictions

The developer of the site shall prepare and record CC & R's for the site. Said CC & R's shall be recorded prior to the issuance of an occupancy permit on the first unit.

Implementation

The following section is intended to provide provisions for amendments major and minor to this specific plan once it is implemented.

Major Changes

Any homeowner may initiate an amendment to the provisions if substantial changes are required. An amendment to the Specific Plan shall be in conformance with California Government Code (Section 65450 through 65457). Revisions to the map shall be in accordance with the California Subdivision Map Act and City of Duarte's procedures for implementation of the Map Act.

Minor Changes

Minor revisions or modifications to approved component plans, may be approved by the Community Development Director. Minor revisions and modifications shall be defined as and shall include the following:

- a. Parking and circulation configurations which do not change the basic parking areas or circulation concept.
- b. Building placements which do not change the general location and layout of the site.
- c. Grading alternatives which do not change the basic concept, increase slopes, or change course of drainage which could adversely effect adjacent or surrounding properties.
- d. Architectural or landscape architectural modifications which do not alter the overall design concept or significantly reduce the affect originally intended.
- e. Appurtenant intrusions into required side and rear yards.
- f. Modifications to satellite dish diameter and placement.