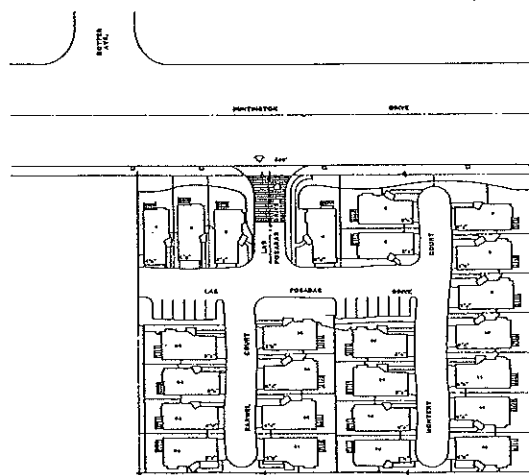


Exhibit "A"

Town Center Villas Specific Plan



Approved by Planning Commission
March 18, 1996

Town Center Villas

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Disposition and Development Agreement	To be inserted after approval
Covenants, Conditions and Restrictions	To be inserted after approval

Purpose of the Specific Plan

The purpose of the Town Center Villas Specific Plan is to allow the development of twenty-five (25) detached single family dwelling units on 1.89 acres of land located adjacent to the Duarte Town Center on Huntington Drive. The Specific Plan process will allow the City to incorporate considerable detail into the Development Plan so as to make the project compatible with the existing neighborhood. This Specific Plan will be a regulatory document establishing land use criteria and development standards.

The Town Center Villas Specific Plan fulfills the intent of the Specific Plan requirements of the State of California and the City of Duarte.

Authority

The Town Center Villas Specific Plan has been prepared in conformance with California Government Code, Sections 65450-65457 which regulates the preparation of specific plans. In addition, all applicable ordinances of the City of Duarte have been incorporated into the plan and the final document will replace zoning and land use regulations currently existing on the site. The land use standards outlined in the Town Center Villas Specific Plan shall govern all areas within the project.

All ordinances, regulations, policies, and other guidelines applicable to the property not covered in this Specific Plan shall remain in effect. Any development standard not covered or addressed in this document, shall conform to the PUD, Planned Unit Development Zone.

Interpretation

The Community Development Director of the City of Duarte, or assigned designee, shall have the responsibility to interpret the proposed Specific Plan and its provisions. All interpretations shall be in writing to ensure consistency of interpretations. Such interpretations shall be permanently maintained by the City of Duarte and be made available to the general public.

Physical Setting

This section of the Specific Plan is intended to provide information regarding the physical characteristics of the site and the intended use of the subject property.

Project Location and Setting

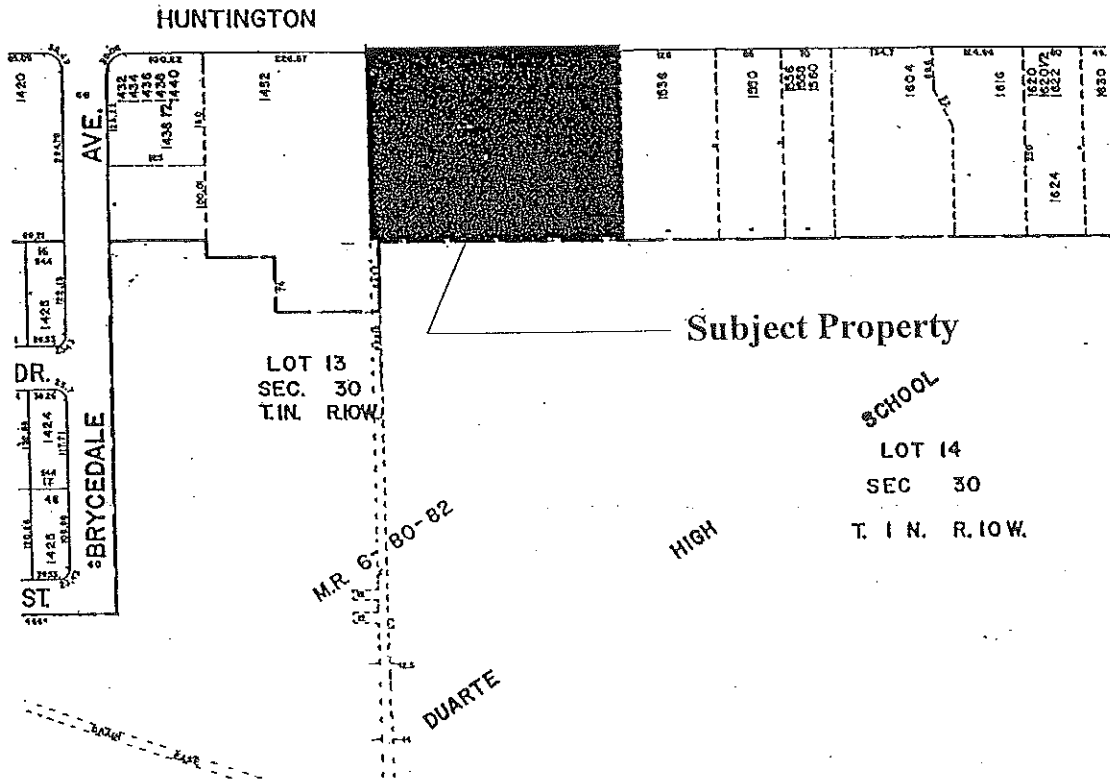
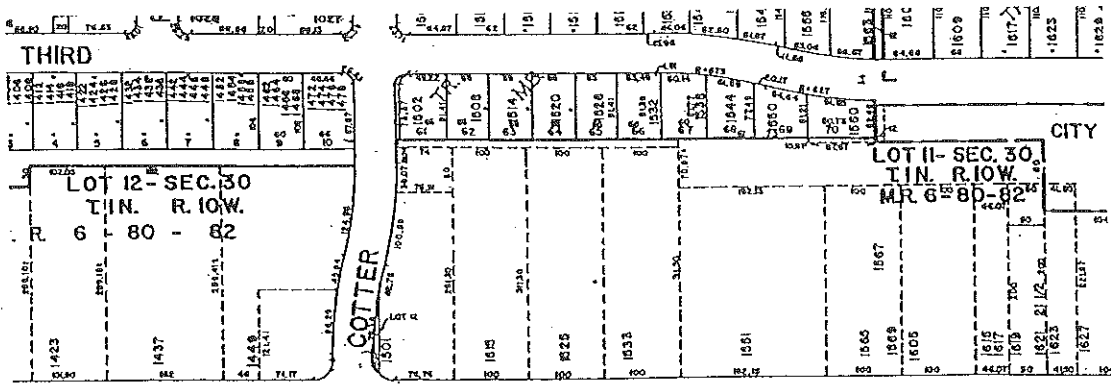
The specific plan planning area consists of three lots totalling 1.89 acres of vacant property, located approximately 350 feet east of Brycedale Avenue (Figure 1). Located along Huntington Drive, the site is adjacent to the Duarte Town Center, Duarte Sports Park and vacant commercial property. Most recently, the site was developed with a motel, bar and apartment complex. These properties were acquired by the Redevelopment Agency in order to develop the property with residential uses. Said property has an overall width along Huntington Drive of 330 feet and a depth of 250 feet.

Vehicular access to the site will be provided by Huntington Drive, a major arterial highway that serves as an east/west transportation corridor through the City of Duarte and adjacent cities. Regional access to the site is provided by the Foothill Freeway (RTE 210) and the San Gabriel River Freeway (RTE 605).

Project Description

The proposed development is intended to provide affordable home ownership opportunities for moderate income households. In order to accomplish this goal, the Town Center Villas Specific Plan will allow the development of twenty-five (25) detached single family dwelling units on postage stamp lots, ranging in size from 1,857 square feet of lot area to 3,464 square feet of lot area, and a 26 foot wide public street system with associated off-street parking in designated areas (Figure 2). Said units will feature 3 and 4 bedrooms and range in size from 1,396 square feet to 1,602 square feet of interior living space.

Consistent with the City's Early California design theme, the project will feature concrete tile roofs, exterior patios and stucco walls. The land use section of this document describes the project in greater detail.



Town Center
Villas

Vicinity Map

Figure 1

Conformance with City Plans

The development of the subject property is regulated by the City of Duarte through its General Plan, Zoning Ordinance and Redevelopment Plans. The following discussion reviews the proposed project and determines conformity with the existing plans.

General Plan

The City's General Plan designates the subject property as Administrative Professional. This category provides for office professional development and corresponds to the C-P (Commercial Professional) zoning district. In order to develop the site with a residential development, the General Plan Land Use designation will be need to be changed to the appropriate classification. In this particular case, the overall housing unit density is at 13.2 units to the acre.

The General Plan designation for the proposed type of residential development would be Medium Density Residential. Under this land use classification, the site could be developed with apartments, condominiums or townhomes at nine (9) to twenty-one (21) dwelling units per acre.

In accordance with the Noise Element, the development will incorporate construction techniques to reduce noise levels associated with vehicular traffic along Huntington Drive. The development of the site will not adversely affect existing noise levels by increasing these levels.

As stated earlier, this project will provide affordable housing opportunities for moderate income households. This concept is directly related to the Housing Element's goal of increasing home buying opportunities for low and moderate income households.

Zoning

Current zoning on the subject property consists of the C-2; General Commercial Zone. Under this classification, the site is required to be develop with commercial land uses, no residential land uses are allowed. As a result, prior to any residential development, a zone change must occur. This specific plan has been prepared to facilitate the residential development of the site. The Town Center Villas Specific Plan will replace the C-2 zoning regulations and constitute zoning for the site. All development standards and land use regulations are defined in this document.

Redevelopment Plan

The subject property is located in the Huntington Drive Phase II and Davis Addition Redevelopment Project Areas. All uses proposed in the project area shall be approved by the Redevelopment Agency. As such, a Disposition and Development Agreement has been prepared and must be approved by the Redevelopment Agency prior to the issuance of building permits.

A major objective of the redevelopment plan is to encourage and facilitate the construction of medium density residential development. It is intended for new residential development to be compatible with adjacent properties and be well landscaped to enhance the living environment. The proposed development meets and exceeds these objectives.

Development Plans

The development plan consists of the following components; land use, circulation, landscaping, architectural concepts, and public infrastructure. The following discussion describes these plan components in greater detail.

Land Use

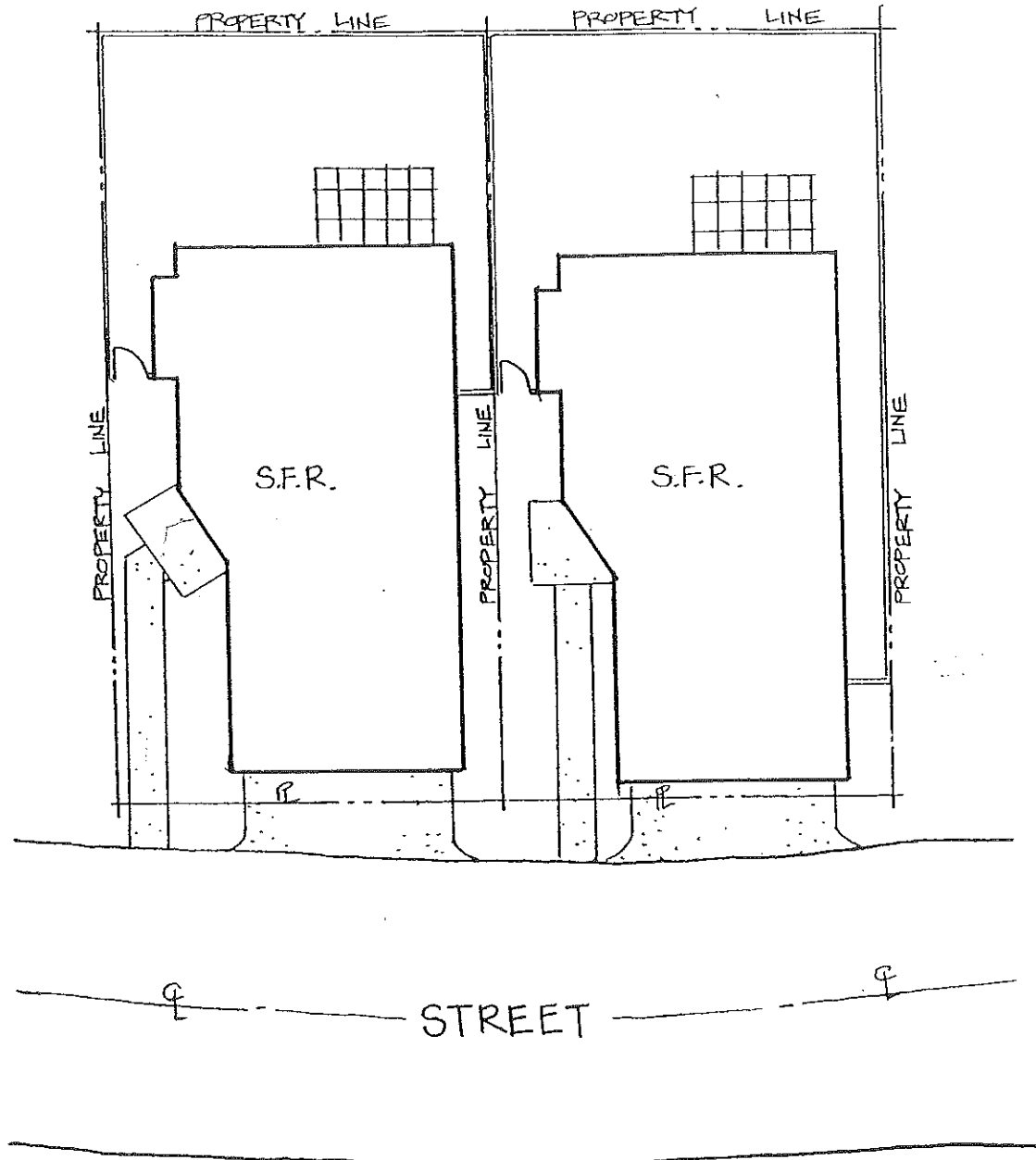
The proposed land use for the project consists of detached single family dwelling units on postage stamp lots. The project has been designed to be commensurate with similar developments on Huntington Drive. The project will be subdivided into twenty-five residential lots, ranging in size from 1,857 square feet to 3,464 square feet. The remainder of the site will be developed with a twenty-six foot wide public street system and off-street parking facilities.

Each of the lots will be developed as a "patio lot" or small postage stamp lot, to accommodate both the housing unit and private open space (Figure 3). In addition, areas of each lot that are outside the private open space will be placed in a landscape district to ensure perpetual maintenance.

Private open space will consist of ground level patios, courtyards and backyards. In addition, each unit will have balconies for outside activities. Open space for each lot varies with lot coverage ranging from 27 percent to 51 percent. Table I identifies a detailed site analysis of the proposed project area.

TABLE I
Town Center Villas Specific Plan
Site Analysis

Total Area	82,502 (100%)
Lot Coverage (Building Footprint)	25,161(30%)
Public Streets	26,075 (32%)
Open Space	31,266 (38%)
Number of Units	25
Dwelling Unit Density	13.2 units per acre
Parking	
Open Spaces	13 spaces
Covered Spaces	50 spaces



TYPICAL LOT LAYOUT

Town Center
Villas

Typical Lot Layout

Figure 3

The Town Center Villas Specific Plan allows for the development of a twenty-six (26) foot wide public street system with no on-street parking. The circulation system allows vehicular access to each individual lot through a two-car garage with automatic roll-up garage door.

Dispersed throughout the site are thirteen open parking spaces for visitor and resident parking. The circulation system features three cul-de-sacs and a street featuring asphaltic concrete and decorative concrete paving.

Off-street parking of recreational vehicles, trailers and boats will be prohibited. The public street system will be maintained by the City of Duarte. The enforcement of the no-parking requirements on the public street will be strictly enforced by both the Sheriffs and Fire Departments.

Landscaping

In order to make the site attractive and more livable, the use of mature landscaping will be utilized. Landscaping will be used as visual and noise buffers along Huntington Drive. Medium scale and canopy trees will define the main entry. Trees, annuals, shrubs, turf and ground cover will be used extensively throughout the development.

All landscaped areas will be maintained by the City of Duarte with the exception of the Private areas. All areas maintained by the City will be placed in a Landscape District to ensure perpetual maintenance.

Architectural Concepts

Given the environmental setting of the site, it is important that the development be of high quality and commensurate with previously approved housing developments on Huntington Drive. The architectural style should enhance the view from Huntington Drive as well as adjacent properties. With this in mind, the development will utilize the City's "Early California" design theme. The project will utilize various setbacks, exterior shapes and elevations to maximize the aesthetic appeal throughout the site and along Huntington Drive (Figure 4).

The development will feature two basic layouts, with four different floor plans and eight different elevations (Figure 5). Some of the exterior design features include concrete tile roofs, attached 2-car garages with direct interior access, coordinated exterior and interior color combinations, elegant entries with solid wood doors and bronzed hardware and side yard masonry walls.

As stated earlier, there will be four distinct floor plans. All plans will feature a kitchen, 2.5 bathrooms, living room and dining area and three to four bedrooms. Two-car garages with automatic roll-up doors are provided for each unit. Table II provides a breakdown of the unit type.

Interior designs will feature a two story volume ceiling in the entryway and 9 foot ceilings in the living room, dining room and master suite.

Ceramic tile floors in entry, fireplace, Central air for heating and cooling, pre-wired cable rooms, major manufacture appliances, walk-in closets recessed lighting, wood cabinets and security systems.

TABLE II
Town Center Villas Specific Plan
Proposed Floor Plans

Plan Type	Square Footage	Bedrooms	Baths	Total Units
2	1,396	3	2.5	5
3	1,468	3	2.5	8
4	1,505	4	2.5	3
5	1,602	4	2.5	9

Infrastructure/Public Services

The project site is located in an area of the City which has a completed infrastructure. The following section discusses this infrastructure and the necessary steps required to tie the project into the system.

Drainage

Existing water runoff is generally in a southerly direction towards the rear of the property. A grading plan shall be submitted and approved prior to the development of the property. There are no significant drainage problems on the site.

Street System

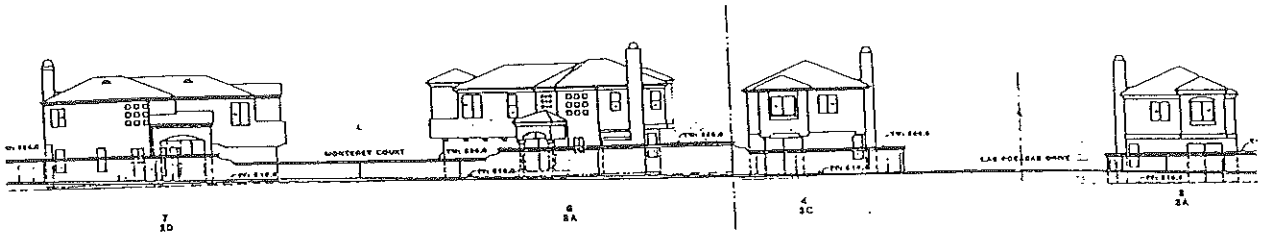
A new public street system will be constructed that will feature a twenty-six foot wide street with no on-street parking. A lighting plan will be submitted to the City Engineer for approval prior to occupancy of any of the units.

Waste

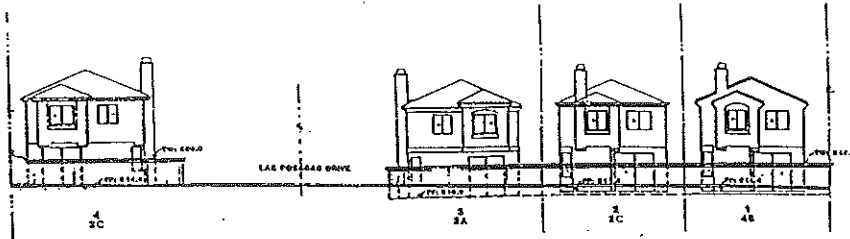
The project site is located in Los Angeles County Sanitation District No. Twenty-two. The project will be connected to the public sewer system at the time of development. Plans will be submitted to and approved by the Los Angeles County Sanitation District and City Engineer. The disposal of solid waste will be handled by the City's waste disposal company. Automated service will be provided to each individual unit. The design of the units will incorporate the trash pick-up. Plans detailing the location and materials of the trash enclosures shall be submitted to and approved by the City's Architectural Review Board.

Public Transportation

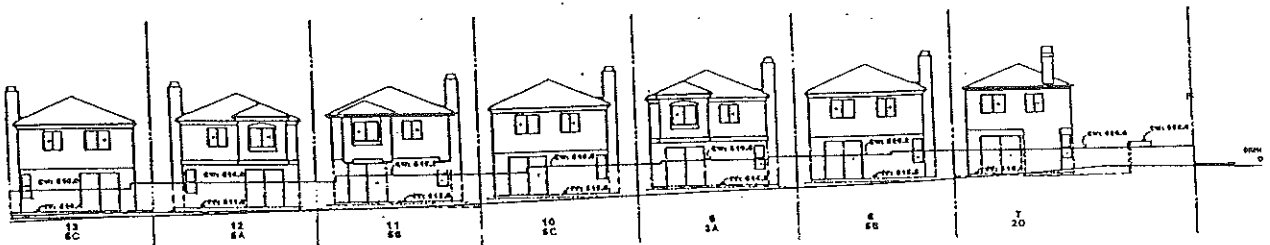
A variety of public transportation opportunities will be available to new residents in the development. The Foothill Transit District operates a number of bus lines throughout the City. This transportation system allows an individual to utilize other bus lines within the City of Duarte as well as to other lines that service other portions of the County and the surrounding region. Regional transit is also provided by the Los Angeles County Metropolitan Transportation Agency (MTA). In addition, the City currently operates a transit system on a fixed route basis. The proposed Specific Plan will not require an expansion of the existing transportation services.



HUNTINGTON DRIVE ELEVATION



HUNTINGTON DRIVE ELEVATION

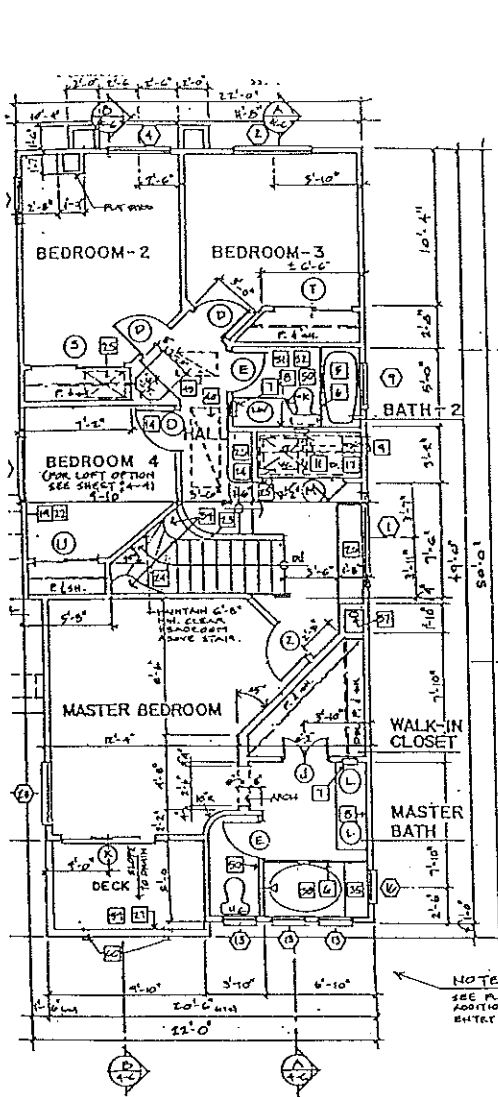


EAST FACING ELEVATION

Town Center
Villas

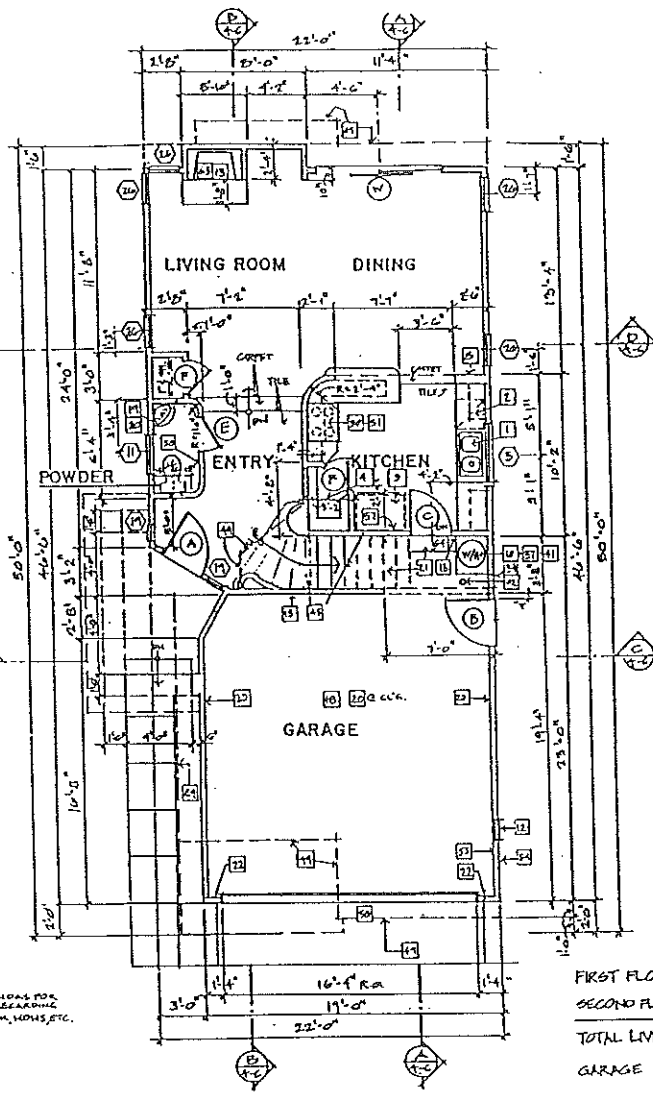
Elevations

Figure 4



SECOND FLOOR PLAN

NOTE:
SEE FLOOR ADDITIONS FOR
ADDITIONAL WIRE RESEARCHING
ENTER PORCH, DECK, HALLS, ETC.



FIRST FLOOR PLAN

FIRST FLOOR	943	SQ. FT.
SECOND FLOOR	962	SQ. FT.
TOTAL LIVING	1505	SQ. FT.
GARAGE	411	SQ. FT.

Town Center
Villas

Floor Plan

Figure 5

DEVELOPMENT STANDARDS

I. Purpose and Intent

The following development standards are applicable to all dwellings and structures constructed within the Town Center Villas Specific Plan area. The purpose of these standards is to provide for a residential environment sensitive to the area in which it is intended to be developed.

II. General Development Standards

1. Each residential structure or dwelling unit shall be located on an individual parcel. There shall be no more than one residential dwelling unit per parcel.
2. Each parcel of land permitted to be developed shall have vehicular access from a public street.
3. The overnight and/or outdoor storage of recreational vehicles, boats, trailers, etc., is prohibited in the Specific Plan area, except for temporary loading and unloading.
4. Accessory structures not attached to the main structure are prohibited.
5. Any development standard not provided for in this Specific Plan shall be in accordance with the PUD, Planned Unit Development Zone.
6. All utilities into the site shall be placed underground.
7. Outdoor street lighting shall be decorative in a form approved by the City's Architectural Review Board.
8. All areas identified on the Final Tract Map shall be placed in a landscape district.

III. Permitted Uses

1. Detached single family units subject to the provisions of the development standards of this Specific Plan.
2. Spas, fountains, outdoor recreation facilities or related improvements.
3. Off-street parking structures.
4. Home Occupancy permits.
5. Signs shall be permitted for the identification of the development only, and subject to approval by the City's Architectural Review Board. Other types of signs shall be prohibited.

IV. Uses Expressly Prohibited

The following uses are expressly prohibited in the Town Center Villas Specific Plan area:

1. Other uses not specifically listed in Section III.
2. Automotive Repairs.
3. Violations of the established covenants, conditions, and restrictions (CC & R's).

V. Permitted Temporary Uses

1. Real Estate signs relating to the sale, lease, or other disposition of real property on which the sign is located, are permitted as set forth in the Duarte Municipal Code. The location of such signs shall be subject to the review and approval by the City's Architectural Review Board.

VI. Site Development Standards

1. Minimum Lot Size - 1,857 Square Feet.
2. Maximum Building Height - 30 Feet.

Exceptions: Roof structures (i.e. ventilating fans, chimneys, domestic radios and television masts) may exceed the maximum building height subject to approval by the City's Architectural Review Board.

3. **Setbacks:** Front yards shall be measured perpendicular to the property line and shall be permanently maintained. At no point shall new development be allowed to occur which reduces any setback from its original design. No building or structure shall occupy any required yard area. The side yard that has been dedicated to the adjoining property shall remain open and no windows shall be allowed on any addition that follows that wall.
- a. The front yard setback distance on Huntington Drive shall range from 17 feet to 28 feet. Front yard setbacks on all other streets shall be 2 to 10 feet.
 - b. Side yards - 3 feet.
 - c. Rear yard - 15 feet. Covered patio's shall be allowed to encroach into the rear yard setback area subject to Architectural Review Board approval.
 - d. Eaves, cornices, and other architectural features. Architectural features such as eaves, cornices, canopies, cantilevered roofs and chimneys and wing walls may project into the required setback. This projection shall be limited to no more than 30 inches. Limited projections shall be allowed on the side yard that is a dedicated easement to the adjoining property subject to approval by the Architectural Review Board.
4. **Lot Coverage:** Buildings and structures shall not occupy more than 52% of each individual ~~lot~~ lot area.
- a. No accessory structures, air conditioners, or pool or spa equipment shall be located to occupy any portion of the front setback area.
5. **Parking -** Each dwelling unit shall have and maintain two covered parking spaces. Said spaces shall have garage doors with automatic garage door openers. At no time shall less than 13 open spaces be provided on the site for visitor and resident parking.
6. **Walls -** No wall shall exceed eight (8) feet in height. The front yard wall shall range in size from 4.5 feet to six (6) feet in height. All walls shall be decorative and be approved by the City's Architectural Review Board.

Required Approvals

The following documents will be prepared for approval by the City of Duarte to ensure that development of the site proceeds in an orderly fashion. These applications shall be approved prior to the issuance of building permits.

Environmental Review

The City of Duarte will prepare an environmental review of the Specific Plan as required by the California Environmental Quality Act (CEQA) to determine the potential environmental effects.

General Plan Amendment

A general plan amendment from Administrative Professional to Medium Density Residential shall be adopted by the Duarte City Council. The General Plan Amendment will insure proper development of the site.

Specific Plan

This Specific Plan will be reviewed and approved by the City of Duarte to provide land use, design, and other controls in the project area and to insure conformance with the City's General Plan.

Architectural Review Board

The developer of the site shall prepare and record Covenants Conditions and Restrictions's for the site. The CC & R.'s shall establish an architectural review committee composed of current property owners. All future architectural plans shall be approved by the Town Center Villas Architectural Committee and the City's Architectural Review Board. Plans shall conform to all regulations of the Town Center Villas Specific Plan.

Tentative Tract Map

A Tentative Tract Map shall be prepared and submitted to the City of Duarte for its review and approval. Said map shall be consistent with this Specific Plan.

Disposition and Development Agreement

Disposition and Development Agreement (DDA) shall be approved by the Redevelopment Agency of the City of Duarte ensuring the quality of development and affordability of the units. The General Plan Amendment, Zone Change and Tentative Tract Map are conditioned based upon approval of the DDA.

Conditions, Covenants and Restrictions

The developer of the site shall prepare and record CC & R.'s for the site. Said CC & R's shall be recorded prior to the issuance of an occupancy permit on the first unit.

Implementation

The following section is intended to provide provisions for major and minor amendments to this specific plan once it is adopted and implemented.

Major Changes

Any homeowner may initiate an amendment to the provisions if substantial changes are required. An amendment to the Town Center Villas Specific Plan shall be in conformance with California Government Code (Section 65450 through 65457). Revisions to the map shall be in accordance with the California Subdivision Map Act and City of Duarte's procedures for implementation of the Map Act.

Minor Changes

Minor revisions or modifications to approved component plans, may be approved by the Community Development Director. Minor revisions and modifications shall be defined as and shall include the following:

- a. Parking and circulation configurations which do not change the basic parking areas or circulation concept;
- b. Building placements which do not change the general location and layout of the site;
- c. Grading alternatives which do not change the basic concept, increase slopes, or change course of drainage which could adversely effect adjacent or surrounding properties;
- d. Architectural or landscape architectural modifications which do not alter the overall design concept or significantly reduce the affect originally intended.

Town Center Villas

Phase II

Specific Plan



Prepared by:
City of Duarte
Community Development Department

**Town Center Villas
Phase II
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Phase II
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Appendices	
Disposition and Development Agreement	To be inserted after approval
Covenants, Conditions and Restrictions	To be inserted after approval

Purpose of the Specific Plan

The purpose of the Town Center Villas (Phase II) Specific Plan is to allow the development of twenty-one (21) detached single family dwelling units on 1.72 acres of land located adjacent to the Duarte Town Center on Huntington Drive. The Specific Plan process will allow the City to incorporate considerable detail into the Development Plan so as to make the project compatible with the existing neighborhood. This Specific Plan will be a regulatory document establishing land use criteria and development standards.

The Town Center Villas (Phase II) Specific Plan fulfills the intent of the Specific Plan requirements of the State of California and the City of Duarte.

Authority

The Town Center Villas (Phase II) Specific Plan has been prepared in conformance with California Government Code, Sections 65450-65457 which regulates the preparation of specific plans. In addition, all applicable ordinances of the City of Duarte have been incorporated into the plan and the final document will replace zoning and land use regulations currently existing on the site. The land use standards outlined in the Town Center Villas (Phase II) Specific Plan shall govern all areas within the project.

All ordinances, regulations, policies, and other guidelines applicable to the property not covered in this Specific Plan shall remain in effect. Any development standard not covered or addressed in this document, shall conform to the PUD, Planned Unit Development Zone.

Interpretation

The Community Development Director of the City of Duarte, or assigned designee, shall have the responsibility to interpret the proposed Specific Plan and its provisions. All interpretations shall be in writing to ensure consistency of interpretations. Such interpretations shall be permanently maintained by the City of Duarte and be made available to the general public.

Physical Setting

This section of the Specific Plan is intended to provide information regarding the physical characteristics of the site and the intended use of the subject property.

Project Location and Setting

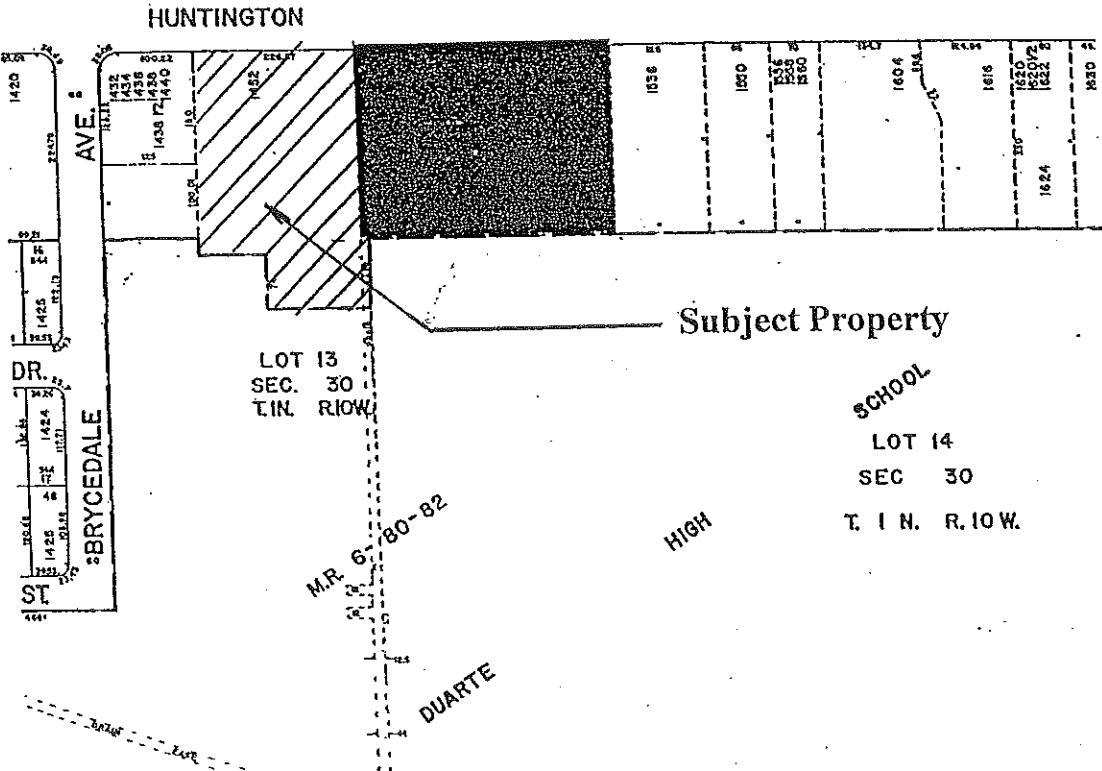
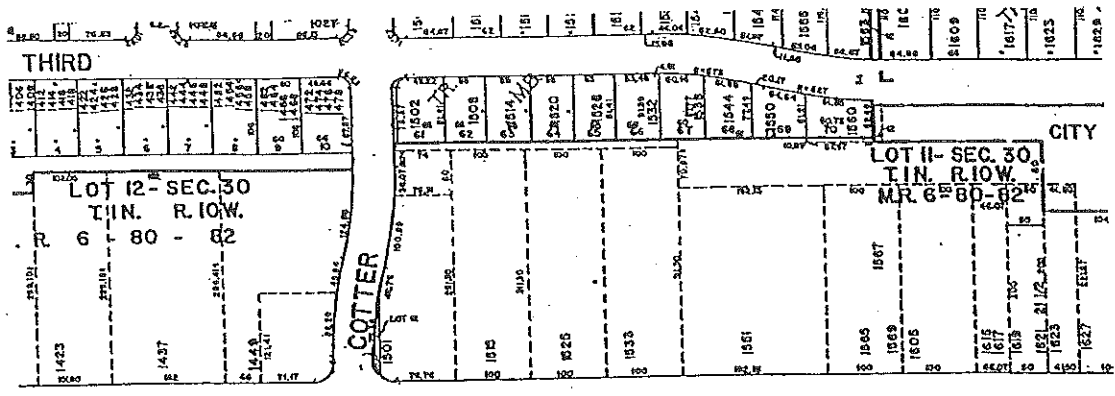
The specific plan planning area encompasses one lot totalling approximately 73,320 square feet of vacant property, located approximately 150 feet east of Brycedale Avenue (Figure 1). Located on the southerly side of Huntington Drive, the site is adjacent to the Las Posadas housing development (Town Center Villas Specific Plan), Duarte Town Center, Duarte Sports Park and a commercial bank (Bank of America). The property was acquired by the Redevelopment Agency in order to develop the property as Phase II of the Las Posadas housing development. Said property is irregular in shape with 230 feet has an overall width along Huntington Drive of and a depth ranging from 271 to 345 feet.

Vehicular access to the site will be provided by Huntington Drive, a major arterial highway that serves as an east/west transportation corridor through the City of Duarte and adjacent cities. Regional access to the site is provided by the Foothill Freeway (RTE 210) and the San Gabriel River Freeway (RTE 605).

Project Description

The proposed development is intended to provide affordable home ownership opportunities for moderate income households. In order to accomplish this goal, the Town Center Villas (Phase II) Specific Plan will allow the development of twenty-one (21) detached single family dwelling units on postage stamp lots, ranging in size from 1,675 square feet of lot area to 3,470 square feet of lot area, and a 26 foot wide public street system with associated off-street parking in designated areas (Figure 2). Said units will feature 3 and 4 bedrooms and range in size from 1,396 square feet to 1,602 square feet of interior living space.

Consistent with the City's Early California design theme, the project will feature concrete tile roofs, exterior patios and stucco walls. The land use section of this document describes the project in greater detail.



North

Town Center
Villas

Vicinity Map

Figure 1

Conformance with City Plans

The development of the subject property is regulated by the City of Duarte through its General Plan, Zoning Ordinance and Redevelopment Plans. The following discussion reviews the proposed project and determines conformity with the existing plans.

General Plan

The City's General Plan designates the subject property as General Commercial . This category provides for commercial development and corresponds to the C-2 General Commercial zoning district. In order to develop the site with a residential development, the General Plan Land Use designation will be need to be changed to the appropriate classification. In this particular case, the overall housing unit density is at 12.5 units to the acre.

The General Plan designation for the proposed type of residential development would be Medium Density Residential. Under this land use classification, the site could be developed with apartments, condominiums or townhomes at nine (9) to twenty-one (21) dwelling units per acre.

In accordance with the Noise Element, the development will incorporate construction techniques to reduce noise levels associated with vehicular traffic along Huntington Drive. The development of the site will not adversely affect existing noise levels by increasing these levels.

As stated earlier, this project will provide affordable housing opportunities for moderate income households. This concept is directly related to the Housing Element's goal of increasing home buying opportunities for low and moderate income households.

Zoning

Current zoning on the subject property consists of the C-2; General Commercial Zone. Under this classification, the site is required to be develop with commercial land uses, no residential land use are allowed. As a result, prior to any residential development, a zone change must occur. This specific plan has been prepared to facilitate the residential development of the site. The Town Center Villas (Phase II) Specific Plan will replace the C-2 zoning regulations and constitute zoning for the site. All development standards and land use regulations are defined in this document.

Redevelopment Plan

The subject property is located in the Rancho Duarte Phase III Redevelopment Project Area. All uses proposed in the project area shall be approved by the Redevelopment Agency. As such, a Disposition and Development Agreement has been prepared and must be approved by the Redevelopment Agency prior to the issuance of building permits.

A major objective of the redevelopment plan is to encourage and facilitate the construction of medium density residential development. It is intended for new residential development to be compatible with adjacent properties and be well landscaped to enhance the living environment. The proposed development meets and exceeds these objectives.

Development Plans

The development plan consists of the following components; land use, circulation, landscaping, architectural concepts, and public infrastructure. The following discussion describes these plan components in greater detail.

Land Use

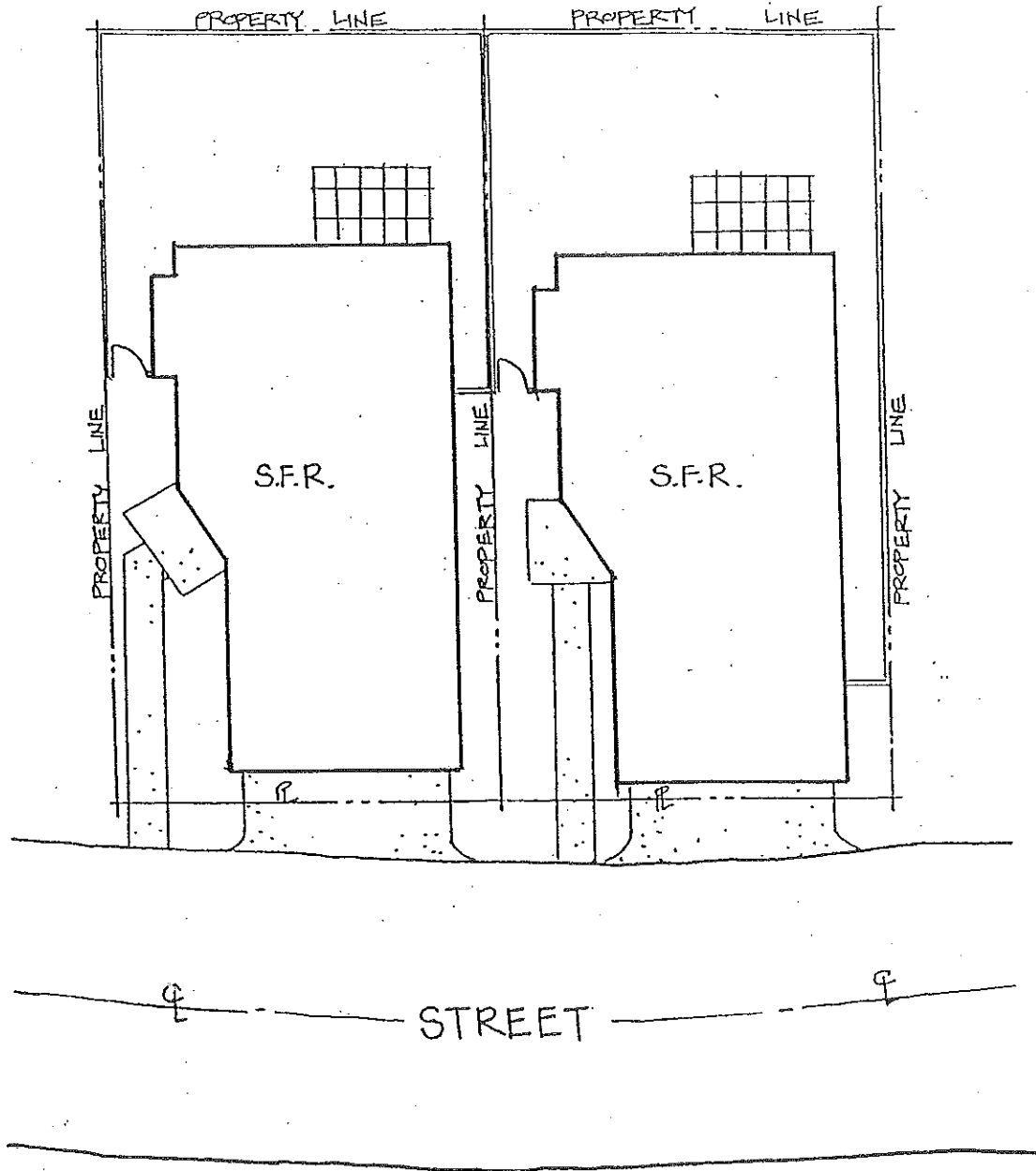
The proposed land use for the project consists of detached single family dwelling units on postage stamp lots. The project has been designed to be a part of the Las Posadas housing development to the east of the subject property. The project will be subdivided into twenty-one residential lots, ranging in size from 1,675 square feet to 3,470 square feet. The remainder of the site will be developed with a twenty-six foot wide public street system and off-street parking facilities.

Each of the lots will be developed as a "patio lot" or small postage stamp lot, to accommodate both the housing unit and private open space (Figure 3). In addition, areas of each lot that are outside the private open space will be placed in a landscape district to ensure perpetual maintenance.

Private open space will consist of ground level patios, courtyards and backyards. In addition, each unit will have balconies for outside activities. Open space for each lot varies with lot coverage ranging from 26 percent to 52 percent. Table I identifies a detailed site analysis of the proposed project area.

TABLE I
Town Center Villas (Phase II) Specific Plan
Site Analysis

Total Area	73,320 (100%)
Lot Coverage (Building Footprint)	19,063 (26%)
Public Streets	22,729 (31%)
Open Space	31,528 (43%)
Number of Units	21
Dwelling Unit Density	12.5 units per acre
Parking	
Open Spaces	11 spaces
Covered Spaces	42 spaces



TYPICAL LOT LAYOUT

Town Center Villas	Typical Lot Layout	Figure 3
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Circulation

The Town Center Villas (Phase II) Specific Plan allows for the development of a twenty-six (26) foot wide public street system with no on-street parking. The circulation system allows vehicular access to each individual lot through a two-car garage with automatic roll-up garage door.

Dispersed throughout the site are eleven open parking spaces for visitor and resident parking. The circulation system features three cul-de-sacs and a curvilinear street featuring asphaltic concrete and decorative concrete paving.

Off-street parking of recreational vehicles, trailers and boats will be prohibited. The public street system will be maintained by the City of Duarte. The enforcement of the no-parking requirements on the public street will be strictly enforced by both the Sheriffs and Fire Departments.

Landscaping

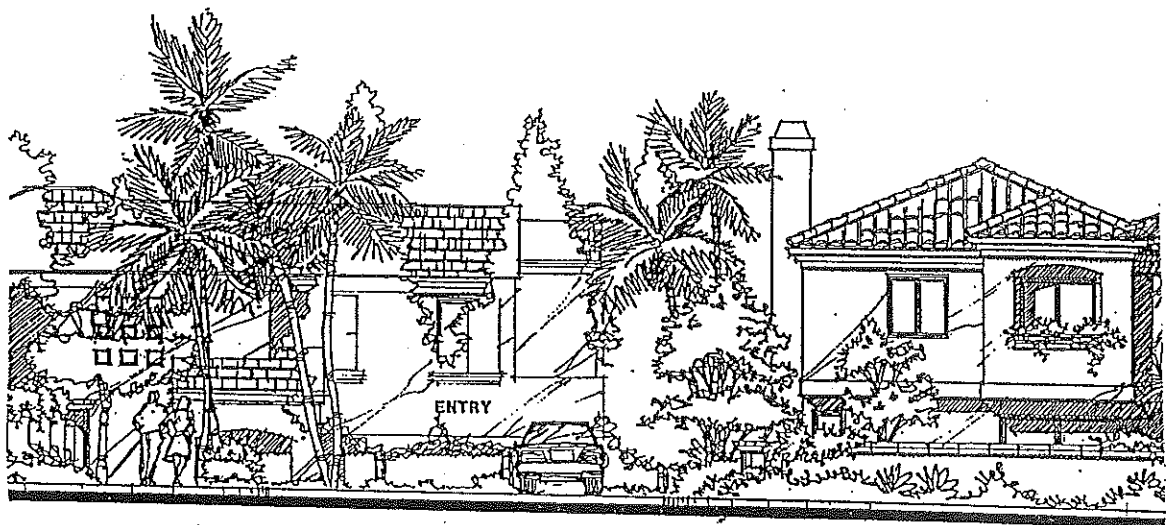
In order to make the site attractive and more livable, the use of mature landscaping will be utilized. Landscaping will be used as visual and noise buffers along Huntington Drive. Medium scale and canopy trees will define the main entry. Trees, annuals, shrubs, turf and ground cover will be used extensively throughout the development.

All landscaped areas will be maintained by the City of Duarte with the exception of the Private areas. All areas maintained by the City will be placed in a Landscape District to ensure perpetual maintenance.

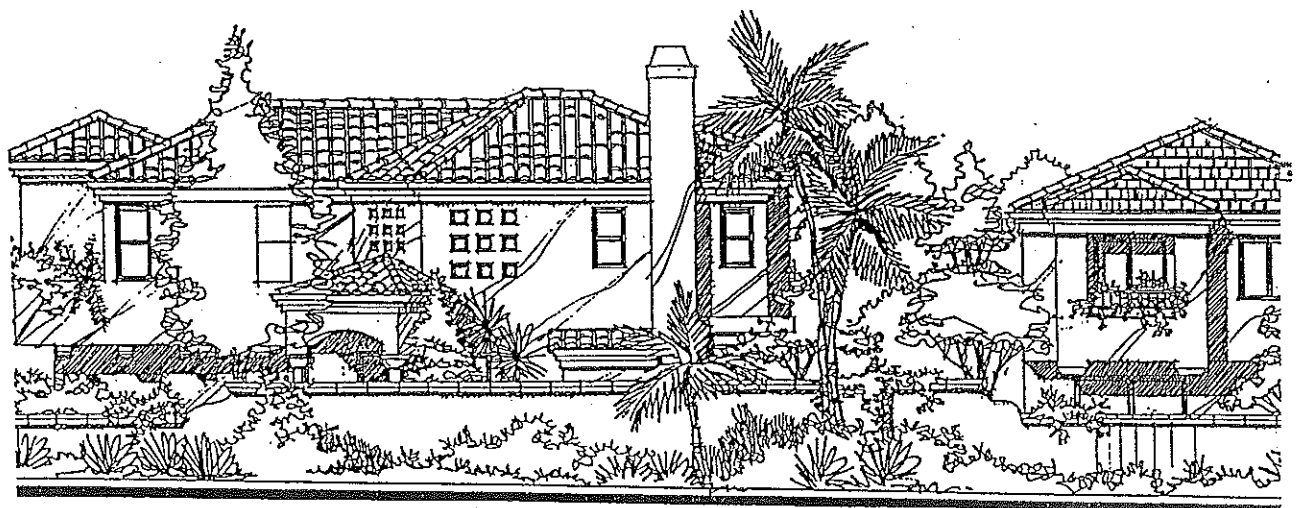
Architectural Concepts

Given the environmental setting of the site, it is important that the development be of high quality and commensurate with previously approved housing developments on Huntington Drive. The architectural style should enhance the view from Huntington Drive as well as adjacent properties.

With this in mind, the development will utilize the City's "Early California" design theme. The project will utilize various setbacks, exterior shapes and elevations to maximize the aesthetic appeal throughout the site and along Huntington Drive (Figure 4).



HUNTINGTON DRIVE ELEVATION



Town Center
Villas

Elevations

Figure 4

The development will feature two basic layouts, with four different floor plans and eight different elevations (Figure 5 and 6). Some of the exterior design features include concrete tile roofs, attached 2-car garages with direct interior access, coordinated exterior and interior color combinations, elegant entries with solid wood doors and bronzed hardware and side yard masonry walls.

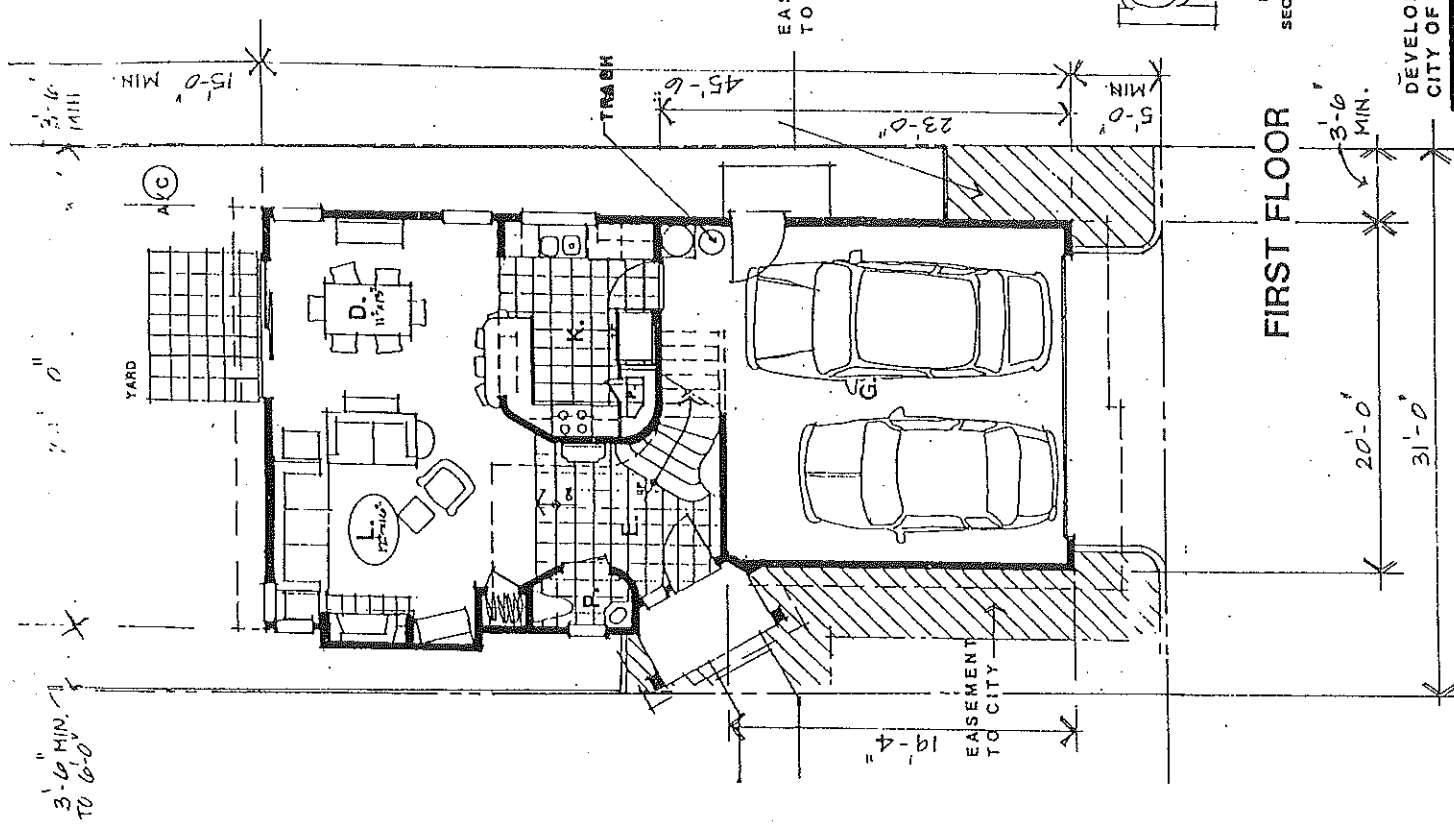
As stated earlier, there will be four distinct floor plans. All plans will feature a kitchen, 2.5 bathrooms, living room and dining area and three to four bedrooms. Two-car garages with automatic roll-up doors are provided for each unit. Table II provides a breakdown of the unit type.

Interior designs will feature a two story volume ceiling in the entryway and 9 foot ceilings in the living room, dining room and master suite.

Ceramic tile floors in entry, fireplace, Central air for heating and cooling, per-wired cable rooms, major manufacture appliances, walk-in closets recessed lighting, wood cabinets and security systems.

TABLE II
Town Center Villas (Phase II) Specific Plan
Proposed Floor Plans

Plan Type	Square Footage	Bedrooms	Baths	Total Units
2	1,396	3	2.5	5
3	1,468	3	2.5	5
4	1,505	4	2.5	5
5	1,602	4	2.5	6

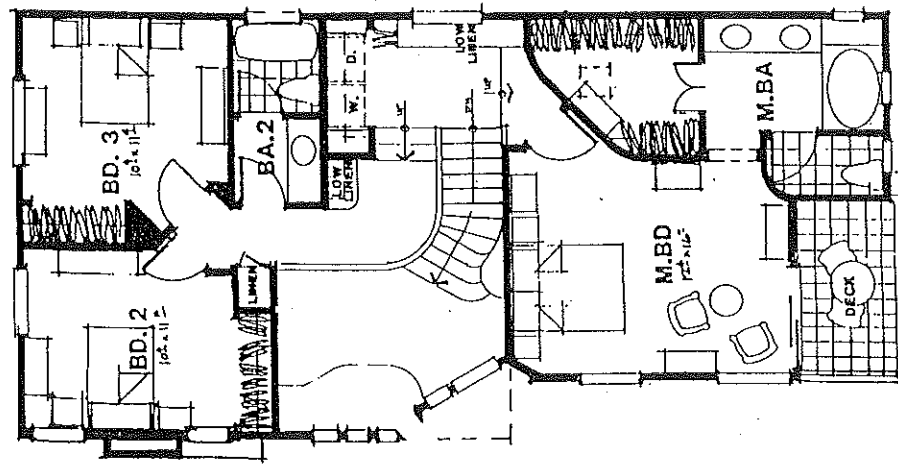


plan 2

FIRST FLOOR 576 S.F.
 SECOND FLOOR 892 S.F.
 TOTAL 1,468 S.F.

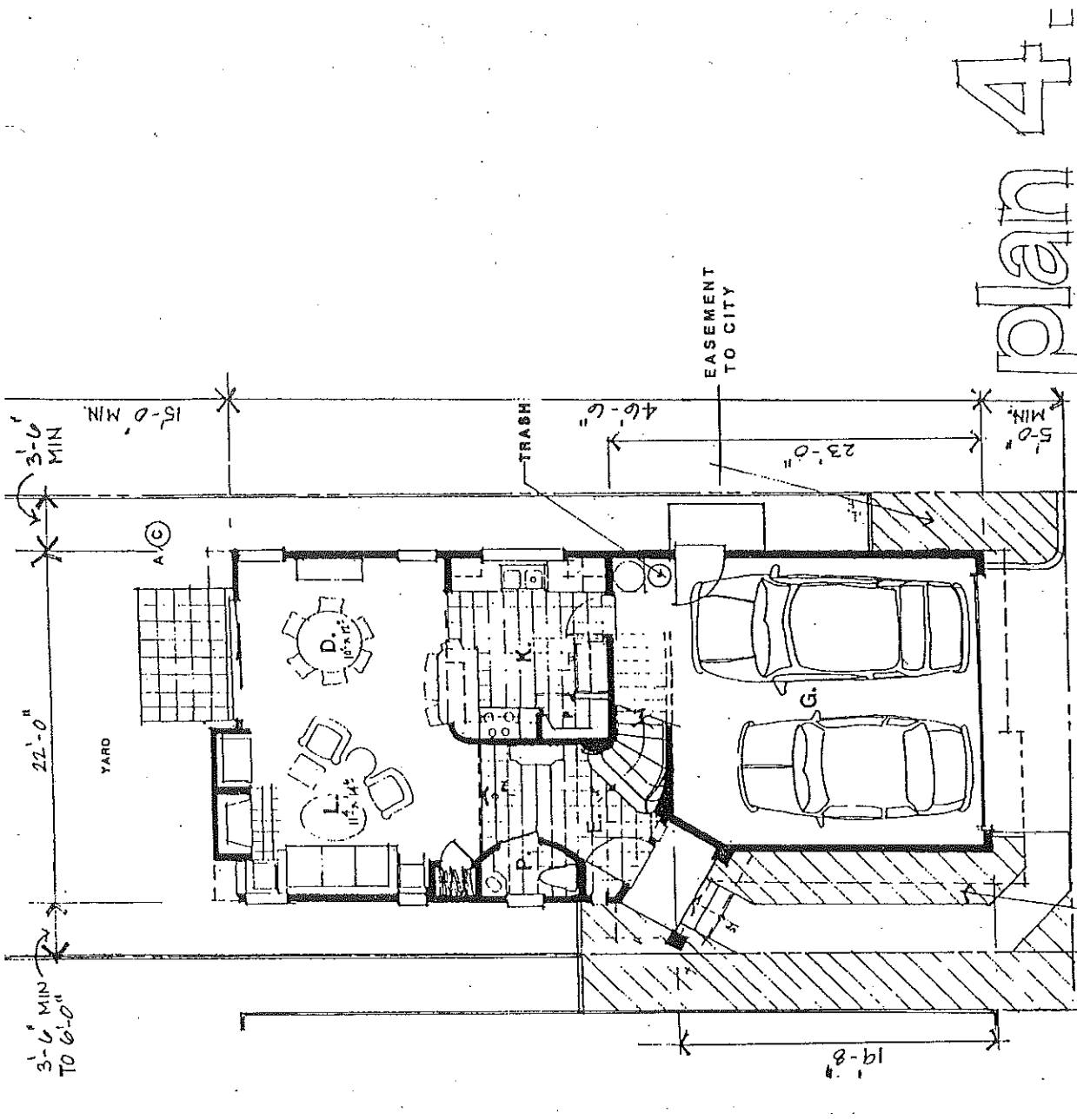
FIRST FLOOR

DEVELOPER: SOUTHLAND COMP
 CITY OF DUARTE AFFORDABLE HC



SECOND FLOOR

FIGURE 5



plan 4

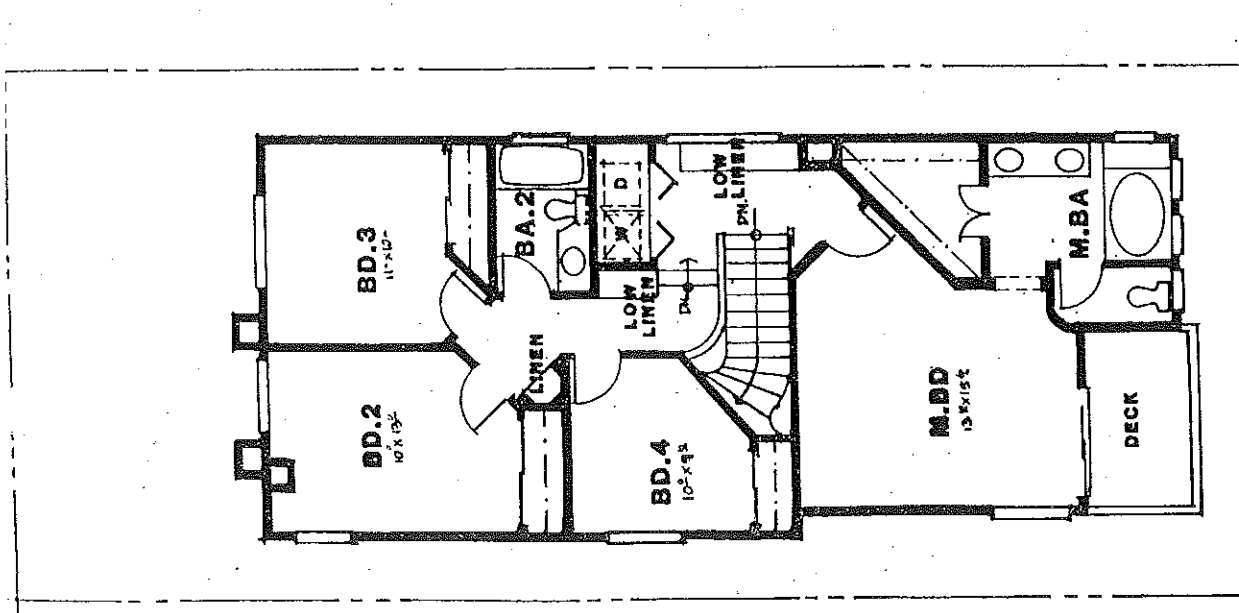
FIRST FLOOR 643 S.F.
 SECOND FLOOR 662 S.F.
 TOTAL 1,505 S.F.

FIRST FLOOR

EASEMENT TO CITY

DEVELOPER: SOUTHLAND COMPANIES
 CITY OF DUARTE AFFORDABLE HOUSING

PAUL E. SEIGER ARCHITECTS



SECOND FLOOR

FIGURE 6

Infrastructure/Public Services

The project site is located in an area of the City which has a completed infrastructure. The following section discusses this infrastructure and the necessary steps required to tie the project into the system.

Drainage

Existing water runoff is generally in a southerly direction towards the rear of the property. A grading plan shall be submitted and approved prior to the development of the property. There are no significant drainage problems on the site.

Street System

A new public street system will be constructed that will feature a twenty-six foot wide street with no on-street parking. A lighting plan will be submitted to the City Engineer for approval prior to occupancy of any of the units.

Waste

The project site is located in Los Angeles County Sanitation District No. Twenty-two. The project will be connected to the public sewer system at the time of development. Plans will be submitted to and approved by the Los Angeles County Sanitation District and City Engineer. The disposal of solid waste will be handled by the City's waste disposal company. Automated service will be provided to each individual unit. The design of the units will incorporate the trash pick-up. Plans detailing the location and materials of the trash enclosures shall be submitted to and approved by the City's Architectural Review Board.

Public Transportation

A variety of public transportation opportunities will be available to new residents in the development. The Foothill Transit District operates a number of bus lines throughout the City. This transportation system allows an individual to utilize other bus lines within the City of Duarte as well as to other lines that service other portions of the County and the surrounding region. Regional transit is also provided by the Los Angeles County Metropolitan Transportation Agency (MTA). In addition, the City currently operates a transit system on a fixed route basis. The proposed Specific Plan will not require an expansion of the existing transportation services.

Development Standards

I. Purpose and Intent

The following development standards are applicable to all dwellings and structures constructed within the Town Center Villas (Phase II) Specific Plan area. The purpose of these standards is to provide for a residential environment sensitive to the area in which it is intended to be developed.

II. General Development Standards

1. Each residential structure or dwelling unit shall be located on an individual parcel. There shall be no more than one residential dwelling unit per parcel.
2. Each parcel of land permitted to be developed shall have vehicular access from a public street.
3. The overnight and/or outdoor storage of recreational vehicles, boats, trailers, etc., is prohibited in the Specific Plan area, except for temporary loading and unloading.
4. Accessory structures not attached to the main structure are prohibited.
5. Any development standard not provided for in this Specific Plan shall be in accordance with the PUD, Planned Unit Development Zone.
6. All utilities into the site shall be placed underground.
7. Outdoor street lighting shall be decorative in a form approved by the City's Architectural Review Board.
8. All areas identified on the Final Tract Map shall be placed in a landscape district.

III. Permitted Uses

1. Detached single family units subject to the provisions of the development standards of this Specific Plan.
2. Spas, fountains, outdoor recreation facilities or related improvements.
3. Off-street parking structures.
4. Home Occupancy permits.
5. Signs shall be permitted for the identification of the development only, and subject to approval by the City's Architectural Review Board. Other types of signs shall be prohibited.

IV. Uses Expressly Prohibited

The following uses are expressly prohibited in the Town Center Villas (Phase II) Specific Plan area:

1. Other uses not specifically listed in Section III.
2. Automotive Repairs.
3. Violations of the established covenants, conditions, and restrictions (CC & R's).

V. Permitted Temporary Uses

1. Real Estate signs relating to the sale, lease, or other disposition of real property on which the sign is located, are permitted as set forth in the Duarte Municipal Code. The location of such signs shall be subject to the review and approval by the City's Architectural Review Board.

VI. Site Development Standards

1. Minimum Lot Size - 1,675 Square Feet.
2. Maximum Building Height - 30 Feet.

Exceptions: Roof structures (i.e. ventilating fans, chimneys, domestic radios and television masts) may exceed the maximum building height subject to approval by the City's Architectural Review Board.

3. Setbacks: Front yards shall be measured perpendicular to the property line and shall be permanently maintained. At no point shall new development be allowed to occur which reduces any setback from its original design. No building or structure shall occupy any required yard area. The side yard that has been dedicated to the adjoining property shall remain open and no windows shall be allowed on any addition that follows that wall.
 - a. The front yard setback distance on Huntington Drive shall range from 20 feet to 26 feet. Front yard setbacks on all other streets shall be 2 to 10 feet.
 - b. Side yards - 3.5 feet
 - c. Rear yard - 15 feet.
 - d. Eaves, cornices, and other architectural features. Architectural features such as eaves, cornices, canopies, cantilevered roofs and chimneys and wing walls may project into the required setback. This projection shall be limited to no more than 30 inches. Limited projections shall be allowed on the side yard that is a dedicated easement to the adjoining property subject to approval by the Architectural Review Board.
4. Lot Coverage: Buildings and structures shall not occupy more than 52% of each individual lot area.
 - a. No accessory structures, air conditioners, or pool or spa equipment shall be located to occupy any portion of the front setback area.
5. Parking - Each dwelling unit shall have and maintain two covered parking spaces. Said spaces shall have garage doors with automatic garage door openers. At no time shall less than 11 open spaces be provided on the site for visitor and resident parking.
6. Walls - No wall shall exceed eight (8) feet in height. The front yard wall shall range in size from 4.5 feet to six (6) feet in height. All walls shall be decorative and be approved by the City's Architectural Review Board.

Required Approvals

The following documents will be prepared for approval by the City of Duarte to ensure that development of the site proceeds in an orderly fashion. These applications shall be approved prior to the issuance of building permits.

Environmental Review

The City of Duarte will prepare an environmental review of the Specific Plan as required by the California Environmental Quality Act (CEQA) to determine the potential environmental effects.

General Plan Amendment

A general plan amendment from Administrative Professional to Medium Density Residential shall be adopted by the Duarte City Council. The General Plan Amendment will insure proper development of the site.

Specific Plan

This Specific Plan will be reviewed and approved by the City of Duarte to provide land use, design, and other controls in the project area and to insure conformance with the City's General Plan.

Architectural Review Board

The developer of the site shall prepare and record Covenants Conditions and Restrictions's for the site. The CC & R.'s shall establish an architectural review committee composed of current property owners. All future architectural plans shall be approved by the Town Center Villas (Phase II) Architectural Committee and the City's Architectural Review Board. Plans shall conform to all regulations of the Town Center Villas (Phase II) Specific Plan.

Tentative Tract Map

A Tentative Tract Map shall be prepared and submitted to the City of Duarte for its review and approval. Said map shall be consistent with this Specific Plan.

Disposition and Development Agreement

A Disposition and Development Agreement (DDA) shall be approved by the Redevelopment Agency of the City of Duarte ensuring the quality of development and affordability of the units. The General Plan Amendment, Zone Change and Tentative Tract Map are conditioned based upon approval of the DDA.

Conditions, Covenants and Restrictions

The developer of the site shall prepare and record CC & R.'s for the site. Said CC & R's shall be recorded prior to the issuance of an occupancy permit on the first unit.

Implementation

The following section is intended to provide provisions for major and minor amendments to this specific plan once it is adopted and implemented.

Major Changes

Any homeowner may initiate an amendment to the provisions if substantial changes are required. An amendment to the Town Center Villas (Phase II) Specific Plan shall be in conformance with California Government Code (Section 65450 through 65457). Revisions to the map shall be in accordance with the California Subdivision Map Act and City of Duarte's procedures for implementation of the Map Act.

Minor Changes

Minor revisions or modifications to approved component plans, may be approved by the Community Development Director. Minor revisions and modifications shall be defined as and shall include the following:

- a. Parking and circulation configurations which do not change the basic parking areas or circulation concept;
- b. Building placements which do not change the general location and layout of the site;
- c. Grading alternatives which do not change the basic concept, increase slopes, or change course of drainage which could adversely effect adjacent or surrounding properties;
- d. Architectural or landscape architectural modifications which do not alter the overall design concept or significantly reduce the affect originally intended.

**CITY OF DUARTE
ENGINEERING FEES
October 8, 1996**

**Site:
1524 Huntington Dr.**

Description	Date Paid	Rec.	Quantity		
Curb and Gutter			1375.24	L.F.	\$2,530.44
Cross Gutter			344.82	L.F.	\$634.47
Sidewalk			1414.00	S.F.	\$707.00
Driveway			1200.00	S.F.	\$504.00
Street Const. & Street Light			19204.00	S.F.	\$8,449.76
Street Plan Check					\$2,000.00
Erosion Plan Check					\$100.00
Storm Drain Plan Check	04/24/96	965494	308.70	L.F.	\$1,050.00
Storm Drain Permit	04/24/96	965494	308.70	L.F.	\$500.00
Grading Plan Check (rough)	05/23/96	966109	4600.00	C.Y.	\$2,400.00
Grading Permit (rough)	05/23/96	966109	4600.00	C.Y.	\$3,275.60
Grading Plan Check (finish)			4470.00	C.Y.	\$2,354.40
Grading Plan Permit (finish)			4470.00	C.Y.	\$716.80
Issuance Fee	05/23/96	966109			\$36.40
Sewer Plan Check	04/29/96	965566	927.70	L.F.	\$1,000.00
Sewer Permit	06/03/96	966360	927.70	L.F.	\$1,866.38
Gas Permit					
Edison Permit					
GTE Permit					
Cable Permit					
Water Permit	06/03/96	966361	1158.00	L.F.	\$1,019.04
Utilities Plan Check	06/03/96	168			\$1,500.00
Landscape Plan Check					\$200.00
Landscape Permit					\$400.00
Final Map					\$2,350.00
Block Wall Ext.	06/03/96	1860			\$189.60
Huntington Dr. Crossing	06/03/96	966362			\$167.92
TOTAL ENGINEERING					\$33,951.81