

DRAFT

CITY OF DUARTE

LAS LOMAS
SPECIFIC PLAN

13 JANUARY 1982

I. PURPOSE INTENT

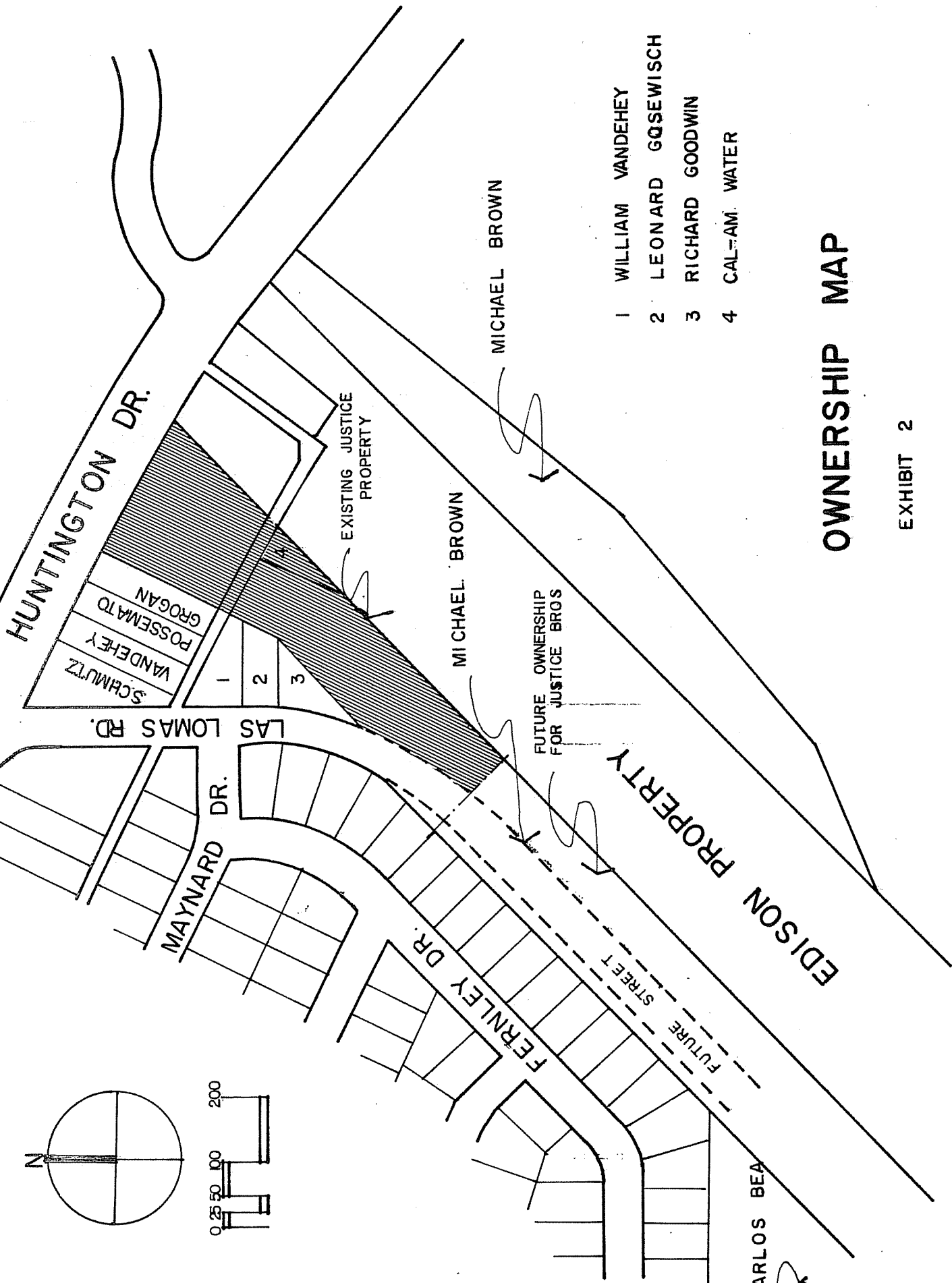
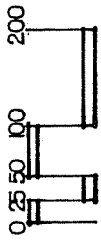
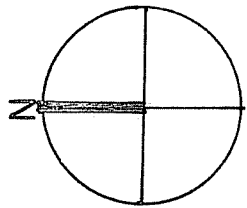
The purpose of the Las Lomas Specific Plan is to allow for the development of approximately 2.12 acres located in both the Cities of Duarte and Irwindale. The developable area is south of Huntington Drive along the extension of Las Lomas Road. The properties located within the City of Irwindale are irregular in size and configuration and bisected by the City boundary lines (see Exhibit 1) which does not easily lend itself to normal ingress or egress. The planning analysis & development standards that comprise this text are intended to provide an innovative approach to the development of the site, proposed to be located entirely within the City of Duarte & to minimize the impact to the adjoining residential areas at such time as Las Lomas is extended & property is developed in Irwindale.

Specific plans are allowed pursuant to Section 65450 et. seq. of the California Government Code, as an alternative to conventional zoning for implementation of a jurisdiction's general plan. A specific plan is to "...include all detailed regulations, conditions, programs & proposed legislation which shall be necessary or convenient for the systematic implementation of each element of the General Plan....." The following sections of this text identify planning constraints, development standards, egress & ingress standards for the proposed project.

II. PLANNING ANALYSIS OBJECTIVES

This planning analysis has been prepared to identify the opportunities & constraints applicable to the development of the property identified in Exhibit 1. It was felt a specific plan was the appropriate tool for regulating the ingress & egress along the extension of Las Lomas Road to serve the potential development within the City of Irwindale. The specific plan is also intended to regulate the development of the property south of Huntington Drive & east of Las Lomas Road within the City of Duarte.

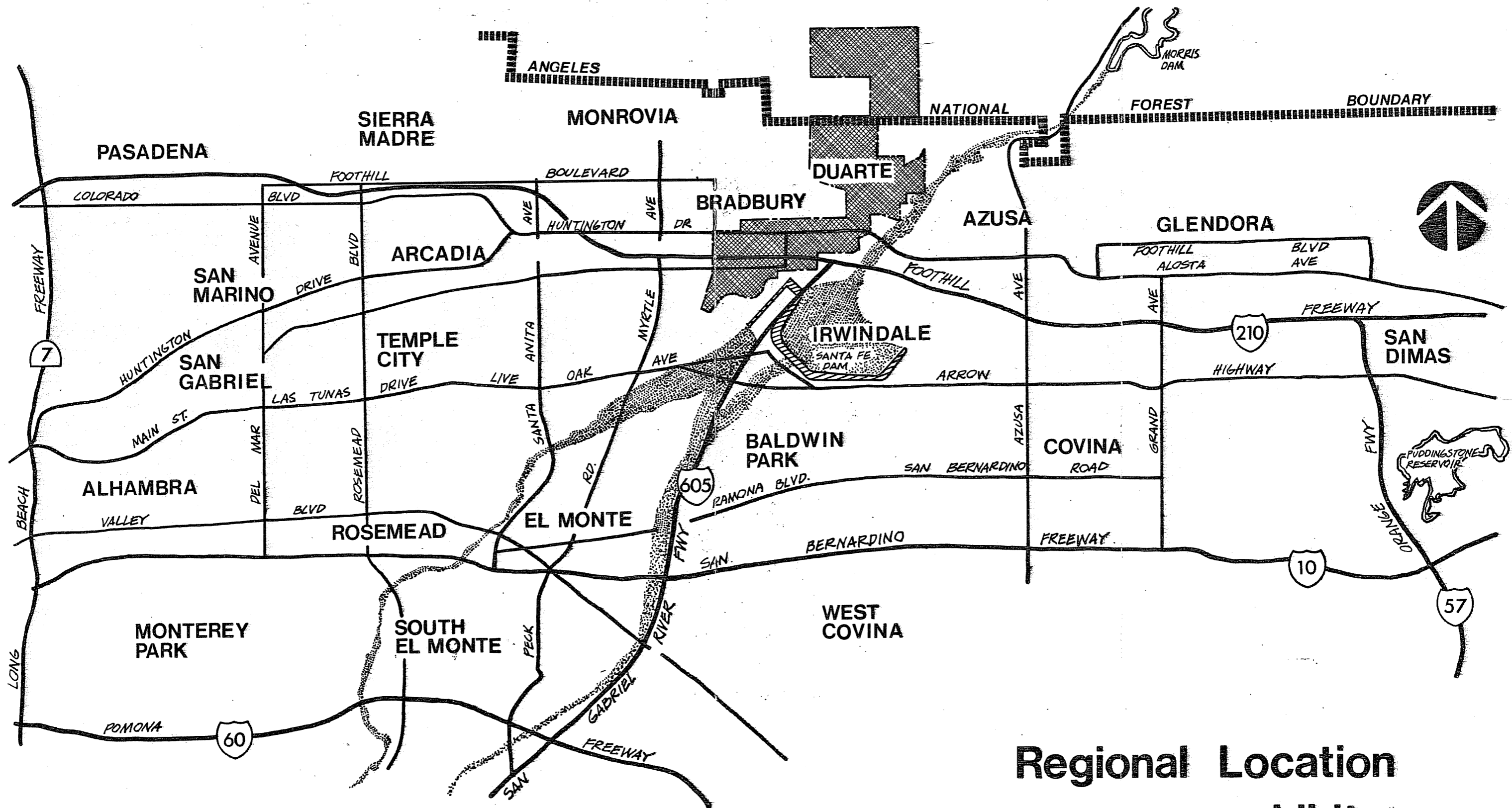
The primary objective of the Las Lomas Specific Plan is to protect the health, safety & welfare, & property rights of the adjacent residential areas, as depicted in Exhibit No. 2 & to provide for orderly development of the site. For example, the irregular shape of the parcel, combined with the narrow finger shape of land extending to Huntington Drive which is intended for access. Additionally, special care must be taken to minimize the potential for noise inundation to the existing residential homes on Fernley Drive & Maynard



- 1 WILLIAM VANDEHEY
- 2 LEONARD GOSEWISCH
- 3 RICHARD GOODWIN
- 4 CAL-AM WATER

OWNERSHIP MAP

EXHIBIT 2



**Regional Location
exhibit 5**

LAS LOMAS SPECIFIC PLAN

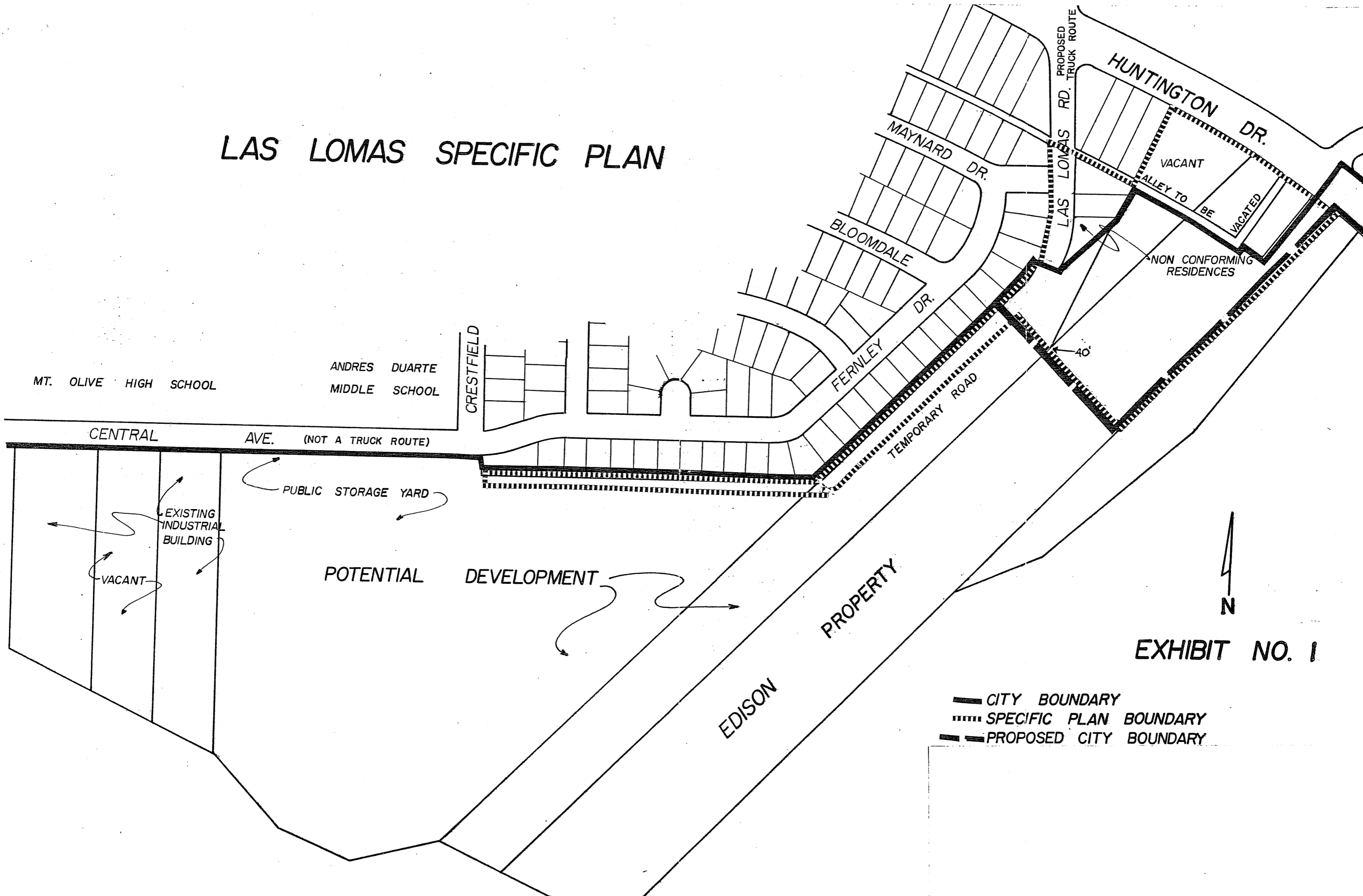


EXHIBIT NO. 1

- CITY BOUNDARY
- - - - SPECIFIC PLAN BOUNDARY
- — — PROPOSED CITY BOUNDARY

Drive. Finally, the site is designated on the Duarte General Plan as light industrial & residential as shown in Exhibit 3.

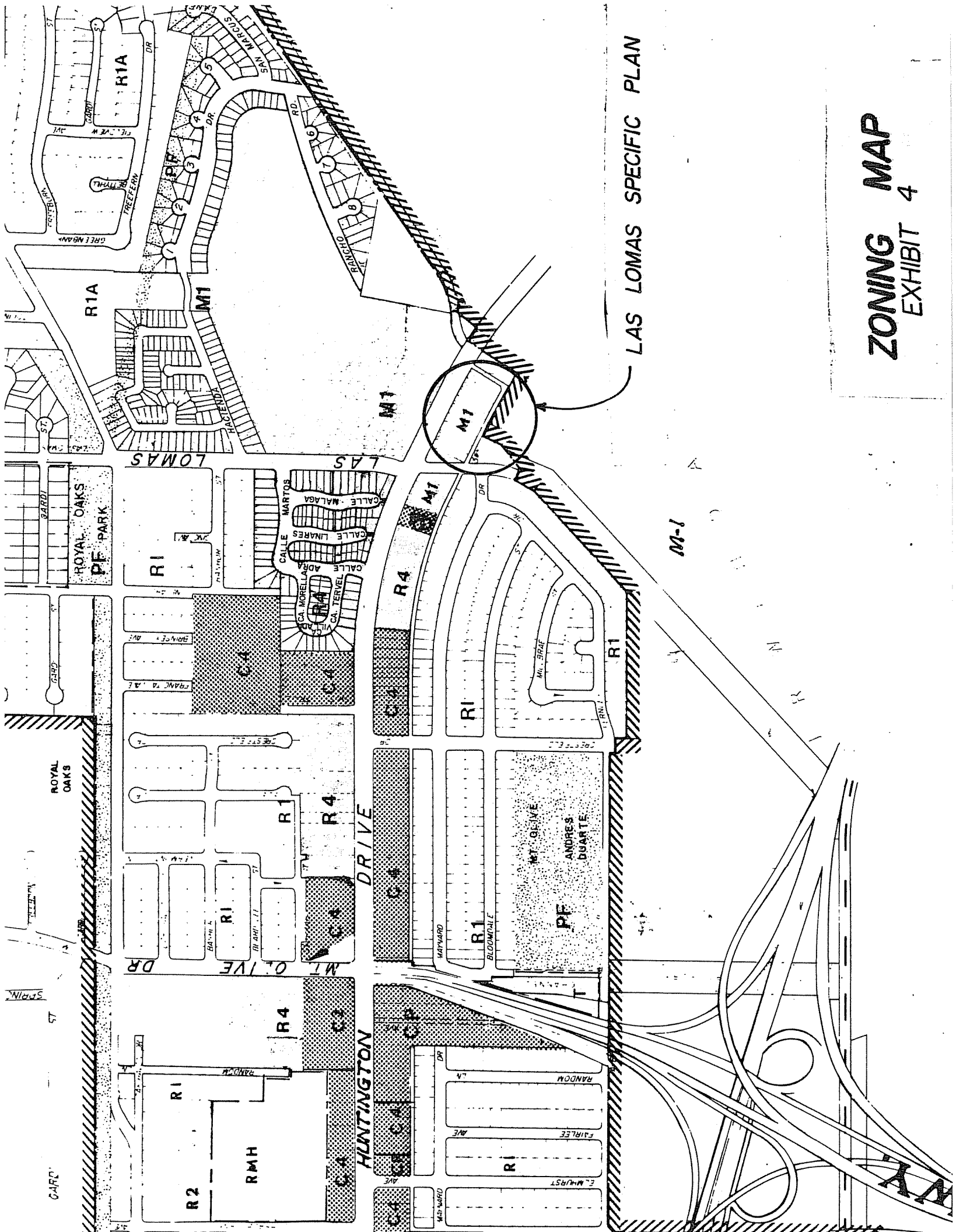
Implementation of the Las Lomas Specific Plan will provide for the development of the project site into a planned industrial site which will be compatible to the surrounding land uses. The regulations established by the specific plan have been developed specifically for the project site to insure harmonious development while insuring substantial compliance with the spirit, intent, & development standards of the light manufacturing zone of the City of Duarte. Alternative development standards have been created in order to provide increased sensitivity & to provide amenities to insure the development is totally compatible with the surrounding residential neighborhoods. (See Exhibit No. 4)

The objectives of this specific plan include:

1. To identify the natural physical & legal constraints of the property which will enhance development concepts.
2. To establish guidelines for development based on the natural constraints & opportunities afforded by the property.
3. To design an industrial development consistent with the spirit & intent of the Duarte General Plan.
4. To design a well-balanced industrial development in addition to providing ingress & egress to the large vacant industrial parcels located within the City of Irwindale.
5. The utilization of structural & landscaped buffers to minimize disturbance from the nearby major arterials & to insure compatibility with the nearby residential neighborhoods.
6. To propose City boundary adjustments to coincide with property ownership lines & allowing for orderly & planned development within the Cities of Irwindale & Duarte.

III. LOCATION

As illustrated in Exhibit 1 the proposed site is generally located at the southeast corner of Las Lomas & Huntington Drive. The City of Duarte was incorporated in 1957 as a



LAS LOMAS SPECIFIC PLAN

ZONING MAP
EXHIBIT 4

culmination of the development process which had begun following the Second World War during which time the agricultural nature of the area gradually developed with predominately residential land uses. Duarte is situated approximately 20 miles east of downtown Los Angeles in the San Gabriel Valley portion of the Los Angeles Basin. Duarte is bordered by the Cities of Bradbury, Monrovia, Irwindale, & Azusa with the Los Angeles National Forest abutting the City to the north. The City is located in a picturesque setting with the San Gabriel Mountains providing a backdrop, and slightly removed from the mainstream of the metropolitan area. The regional location of Duarte is depicted in Exhibit 5.

IV. LAND USE

Existing Conditions: The proposed site is currently vacant. There are no structures on-site with the exception of a pump station located on Cal-American Water Co. property, immediately east of the subject property.

Drainage/ponding: The natural drainage course for the site is to the south, utilizing the existing alley as the water course for the industrial properties located at the S/E corner of Las Lomas Road & Huntington Drive.

General Plan: The general plan establishes parameters within which decisions are made regarding development. The land use element of the Duarte general plan designates the area included in the Las Lomas Specific Plan as Light Industrial. The designation permits light industrial development pursuant to satisfying the development standards of the industrial zone. The objectives of the general plan are:

1. Bring potential industrial land into productive use through redesign, replanning or redevelopment using private and public means.
2. Promote industrial development at appropriate locations within the corridor south of the Foothill Freeway.
3. Provide and encourage growth areas for research and development-oriented industrial uses in order to promote the maximum local employment base.
4. Assure that industry and residences, where located in close proximity, will be compatible neighbors.

Zoning: As shown in Exhibit 4 the property considered by this Specific Plan is zoned M-1. The zoning permits uses that are specified in section 19.66.020 or other use as the Planning Commission & City Council may deem to be similar & not more obnoxious or detrimental to the public health, safety & welfare.

V. GENERAL PLAN IMPLEMENTATION

As indicated in the objectives for this Specific Plan, the development guidelines & planning analysis included herein are designed to be used by planners, developers, landowners & decision-makers in the design & review of industrial development. This Specific Plan represents a tool to implement the policies & elements of the Duarte General Plan. The basic purpose of a general plan is to state clearly the policy of a community regarding how it shall develop physically, socially, & economically. A Specific Plan refines these policies as they relate to a particular parcel of land. For this reason, an evaluation of consistency with the Duarte General Plan is an integral part of the Specific Plan analysis.

The following discussion analyzes the site's consistency with the applicable elements of the Duarte General Plan.

A. LAND USE ELEMENT

Three objectives of the land use element are relevant to the development of the site by the Las Lomas Specific Plan:

1. Bring potential industrial land into productive use through redesign, replanning or redevelopment using private and public means.
2. Provide and encourage growth areas for research and development-oriented industrial uses in order to promote the maximum local employment base.
3. Assure that industry and residences, where located in close proximity, will be compatible neighbors.

Several characteristics of the proposed project are compatible with these objectives include:

1. The Las Lomas Specific Plan encourages industrial development by modifying the development standards & uses of the light manufacturing zone in order to address the natural constraints of the property.

2. All buildings will be constructed in a manner to protect the health, safety, & welfare of neighboring property owners.
3. The major objectives of the Las Lomas Specific Plan in addition to encouraging industrial development is to provide amenities to insure the development is totally compatible with the surrounding residential neighborhoods.

B. PUBLIC SAFETY & SEISMIC SAFETY ELEMENT

The Las Lomas Specific Plan implements two particular goals of the public safety & seismic safety element of the Duarte General Plan.

1. To identify, appraise, and reduce mitigatable seismic, geologic, fire, and inundation hazards to an acceptable level of risk with the overall objective of reducing loss of life, injuries, damage to property, and social-economic dislocations resulting from such natural occurrences.
2. To assist in allocation of public resources in Duarte and to develop information regarding safety and seismic hazards and thereby to develop a systematic approach to the protection of public health, safety and welfare from such hazards. Such information and protective devices are designed for further judicious growth and land use policies in conjunction with previously established City policies contained within the General Plan.

The following characteristics of the proposed project are consistent with the above objectives of the public safety & seismic safety element of the Duarte General Plan:

1. All buildings & structures for the proposed site must be designed to comply with Section 2312 "Earthquake Regulations" of the Uniform Building Code as adopted by the City of Duarte.

C. CIRCULATION ELEMENT

The objective for circulation & transportation as stated by the Duarte General Plan is:

To provide the maximum freedom, safety & economy of movement for individuals & goods consistent with the desires & needs of the community as a whole.

Several features of the proposed development are consistent with the principals of these objectives:

1. Access is available to the site from designated major arterials.
2. Local streets will be fully improved within the project area.
3. There will be adequate off-street parking.
4. Sidewalks will be provided along dedicated roadways for pedestrian safety.
5. Adequate line of sight is available at the intersection of Las Lomas Rd. & Huntington Drive.

D. OPEN SPACE ELEMENT

The Las Lomas Specific Plan implements one particular goal of the open space element of the Duarte General Plan.

- To restrict future surface streets from cutting up open space areas.

The area included in the Las Lomas Specific Plan is located adjacent to both Las Lomas Rd. & Huntington Drive & therefore will not require the installation of public streets. The proposed developer, however, will be required to install off-street parking areas pursuant to the development standards as prescribed in Section VI E6.

E. NOISE ELEMENT

The Las Lomas Specific Plan implements 3 particular objectives of the noise element of the Duarte General Plan.

1. Noise levels within a building should be in compliance with State and Federal law.
2. Proper insulation and acoustical protection should be provided in industrial structures where the general public may have access.

3. Noise levels transmitted beyond or across industrial property lines should not exceed the desired maximum noise level for the adjacent area.

Several features of the proposed development are consistent with the principals of these objectives:

1. Pursuant to the Section 9.68.050 of the Duarte Municipal Code it is unlawful for any person within the City of Duarte to make, or cause or allow to be produced noise which is received on property occupied by another person or adjacent parcel of property. The following table is the maximum exceptable decible levels as specified in Section 9.68.050 of the Duarte Municipal Code.

<u>ZONE</u>	<u>STANDARDS</u>	
	<u>Day</u> <u>7:00 A.M. - 10:00 P.M.</u>	<u>Night</u> <u>10:00 P.M. - 7:00 A.M.</u>
R-1 & R-2	55 dBA	45
R-3 & R-4	55 dBA	50
Commercial	60 dBA	55
Industrial & Light Manufacturing	70 dBA	70

VI PROPOSED ORDINANCE

A. Location

The Las Lomas Specific Plan applies to a triangularly shaped parcel located on the south side of Huntington Drive east of Las Lomas Rd. The property is bounded by Huntington Drive on the North, existing industrial development to the west, the City of Irwindale on the south, & to the east an existing nursery located on the So. Cal. Edison property. The boundaries of the subject property are shown in Exhibit No. 1. The short legal description of the parcel is as follows:

"That portion of Rancho Azusa De Duarte in the City of Duarte, as shown on the map recorded in Book 8604, page 10, parcels 5-8, 17,21 & the northern portion of parcel 7 on page 18 of the Los Angeles County Tax Assessors rolls."

B. PURPOSE & INTENT

The purpose of these regulations is to provide for the development of the subject property in a manner that is sensitive to the constraints of the surrounding land uses, while allowing for the establishment of a unique industrial development. It is further the purpose of these regulations to provide amenities that would protect the surrounding residential neighborhoods at such time as the vacant industrial properties within the Cities of Irwindale & Duarte do develop.

These regulations are intended for use by Planners, landowners, engineers & public decision-makers as development plans for the subject property.

The following objectives have been incorporated into the development standards:

1. To encourage industrial development on the subject property that would act as a positive image entry statement to the City of Duarte from the adjoining City of Irwindale to the east.
2. To maintain the privacy of surrounding residential neighborhoods.

C. GENERAL NOTES

1. Unless otherwise specified, all development within the area covered by the Las Lomas Specific Plan shall comply with the Duarte Municipal Code & the Huntington Drive Redevelopment Plan, Phase II.
2. Terms used herein shall have the same meaning as defined in the Duarte Municipal Code unless otherwise defined herein.
3. Any details or issues not specifically covered by the Las Lomas Specific Plan shall be subject to the regulations of the Duarte Municipal Code & the Redevelopment Plan.
4. The approval of development within the specific plan shall be governed by Section 65450 of the State of Cal. Government Code.

D. PERMITTED USES

Buildings, structures & land shall be used & buildings & structures shall hereafter be erected, structurally altered or enlarged only for those use enumerated herein, plus other such uses, as the Planning Commission may deem appropriate, pursuant to Section 19.70.070 of the Duarte Municipal Code, to be similar & not more obnoxious or detrimental to the public health, safety & welfare than said enumerated uses. All uses shall be conducted within a totally enclosed building & no outdoor storage is permitted.

- (1) Research and development, research laboratories and institutes;
- (2) Electromechanical and electronic products and instruments manufacturing;
- (3) Cartography, bookbinding, printing, lithography, blue printing, photoengraving;
- (4) Fabrication of components, designing, metallurgical products;
- (5) Precision machine shops for prototype production;
- (6) Assembling and fabrication of products which are a result of research and development conducted on the premises;
- (7) Public utility uses, including service yards and corporation yards when properly landscaped;
- (8) Administrative and professional offices;
- (9) Communication equipment buildings, motion picture processing, radio and television broadcasting studios, recording studios;
- (10) Residential uses for plant security personnel;
- (11) Furniture and household goods, transfer and storage;
- (12) Glass edging, beveling and silvering in connection with the sale of mirrors;
- (13) Mail order houses, including warehousing;
- (14) Stained glass assembly. (Ord. 231 1 (part), 1968).
- (15) Manufacturing
 - (a) Those uses permitted in the I-P Zone.
 - (b) Upholstery shops
 - (c) Optical products
 - (d) Packaging business
 - (e) Ceramic products, using only previously pulverized clay and fired in kilns using only electricity or gas.
 - (f) Electrical or neon sign manufacture and maintenance.
 - (g) Garment manufacturing
 - (h) Ice and cold storage plant
- (16) Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared materials:

Canvas
Cellophane
Cloth

Cork
Feathers
Felt
Fiber
Fur
Glass
Hair
Leather
Metals
Paper
Plaster
Precious or semiprecious stones or metals
Shells
Textiles
Wood, except planing mill
Yarns
Rubber and Metal stamps
Shoes
Stone monument works

(17) Processing

Creamery
Laboratory

(18) Fabrication

Fabrication of products made from finished rubber and plastics
Prefabricated houses.
No fabrication is permitted under this subsection which requires snap reventing or any process used in bending or shaping metal which produces any annoying or disagreeable noise.

(19) Wholesaling and Warehousing.

Wholesaling and warehousing facilities, storage distribution agencies.

(20) Utilities

Electric distribution and public utility substations, electric and public utility transmission substations, public and private utility service yards.

(21) Other

Uses incidental and directly related to the services and operation of a permitted industrial use.
Recreation facilities for employees.
Infirmary or dispensary
Horticulture.

(22) Outside displays pursuant to Section 19.66.021

(23) Commercial

Commercial uses customarily incidental and directly related to the services or operation of the permitted industrial uses.
Administrative or sales office related to a permitted industrial use, excluding sales limited to retail sale.

operations only.

Plumbing shops

Real estate office

Restaurant or cafeteria

Trade schools

Wholesale business, including warehousing.

(24) Conditional uses. The following uses may be permitted subject to a conditional use permit as provided for in Chapter 19.70:

a. Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared materials:

Plastics or synthetics,

b. Other manufacturing uses may be permitted in this zone subject to a conditional use permit after a full and complete description of the processes of industrial operation is made, if the Planning Commission finds:

1. That field investigations have disclosed that the subject use and its operation are compatible with the uses permitted in the area where in it is proposed to be located, and

2. That the subject use is similar to one or more uses permitted in the zone within which it is proposed to be located, and

3. That the subject use will not cause substantial injury to the values of property in the neighborhood within which it is proposed to be located, and

4. That the subject use will be so designed, located and operated that the public health, safety and general welfare will be protected.

(25) Uses expressly prohibited

The following uses are expressly prohibited in the M-1 zone:

a. Residential uses other than those permitted in Section 19.66.020

b. Manufacturing plants manufacturing the following products: Bone black and lampblack, cement, charcoal, coal and coke, detergents, soaps and by-products using animal fat, metal ingots, pigs, casting or rolling mills, paper pulp and cellulose, tannery, turpentine.

c. Processing, refining, milling or extraction of the following: Animal by-products, carbon black and lampblack, coal and coke, dog and cat food, paper, petroleum and petroleum products, radium or uranium, rubber, potash, tar or asphalt roof-

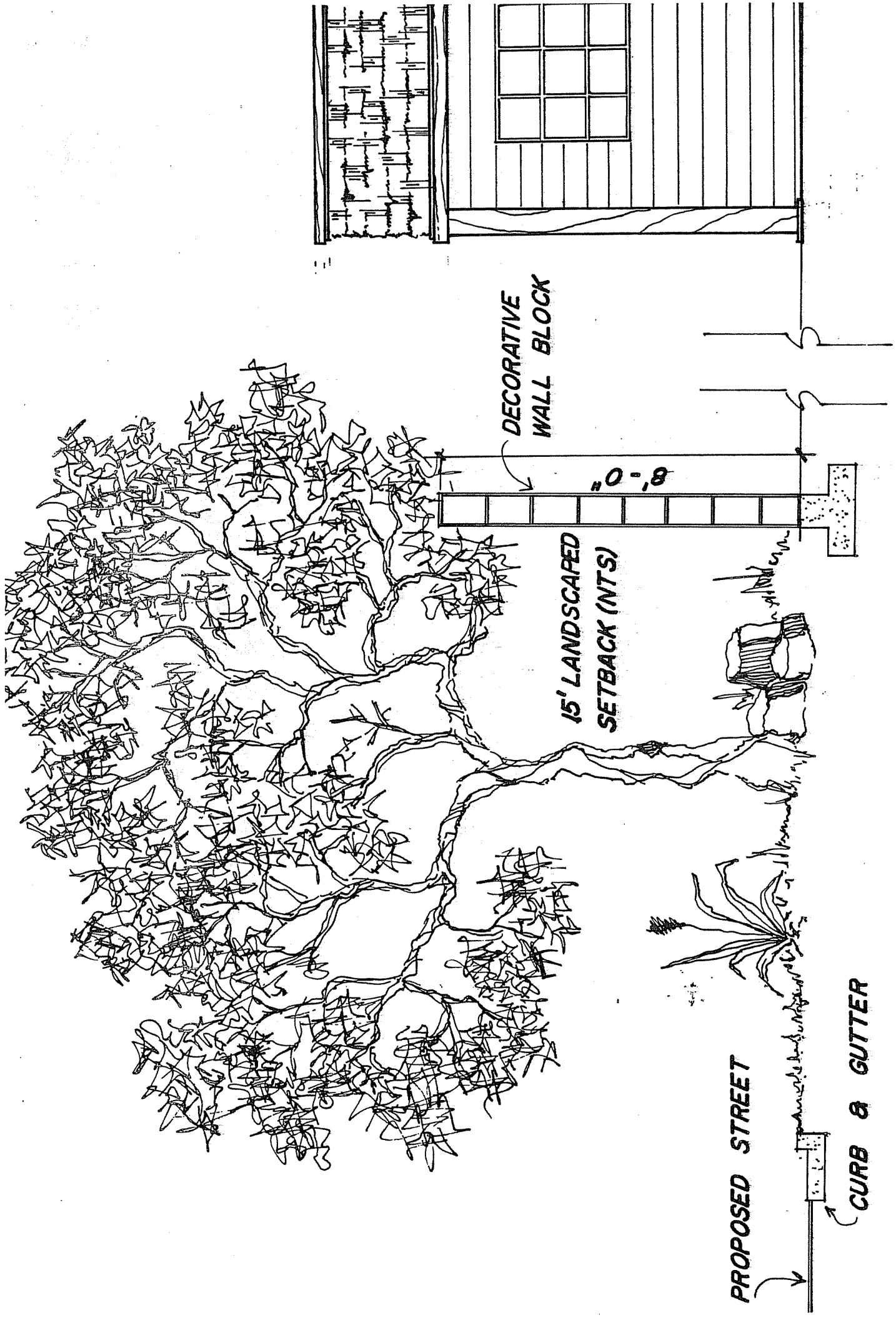
- ing, vinegar, wood preserving by creosoting, wolmanizing or other pressure impregnation of wood by preservatives, wood and lumber kilns for industrial kiln-drying.
- (26) Junkyards and automobile wrecking.
- (27) Volative or poisonous gas storage, except as incidental to a permitted or conditional use.

E. PROPERTY DEVELOPMENT STANDARDS

The following property development standards have been designed to implement this specific plan & are tailored to the precise site plan.

1. Lot Area & Dimensions - The development consists of 4 small lots constituting approximately 2.12 acres which is intended to be combined into one large lot. The existing site is represented in Exhibit No. 1 which may vary depending on land acquisitions, future annexations, etc....
2. Building Coverage - The building coverage is 35% of the land area that may be covered by all structures, however, the maximum coverage may exceed the 35% pursuant to the approval by the Architectural Review Board. The Review Board in approving any proposed site plan exceeding the 35% maximum lot coverage requirement must insure all development standards are satisfied.
3. Building Height - Maximum building height shall not exceed 30 feet. A Conditional Use Permit shall be required for any structure greater than 30'.
4. Setbacks -
 - a.) Front - a 20' average landscaped building setback along Huntington Drive shall be maintained with no projection closer than 15' measured from front property line.
 - b.) Side - There shall be no required sideyard setback provided, however, that all requirements of Table No. 5A group B2 Firezone 3 of the Uniform Building Code are satisfied.
 - c.) Rear - There shall be no minimum required rear yard setback.

5. Walls - Any walls contiguous to a residential zone shall be constructed of a solid decorative masonry wall not less than 8' in height with a minimum 10' - 15' landscaped setback, adjacent to said wall. (Exhibit No. 6)
6. Off-Street Parking - Off street parking is required at a ratio of 1 space per 500 square feet of gross floor area plus one for each vehicle operated by the business. Compact parking stalls may be utilized for 30% of the total in excess of the first 15 parking stalls.
7. Signs - All signs located in the Las Lomas Specific Plan shall relate to the character & architectural style of the structures upon which it is placed. A sign program utilizing a uniform design shall be reviewed & approved pursuant to the provisions of Section F Implementation.
8. Landscaping - Landscaping shall be installed & maintained as necessary to keep such landscaping alive, free of disease. Landscaping shall consist of tree's, shrubs, & ground cover in appropriate numbers & density & a complete automatic remote control irrigation system. Maintenance shall include, but shall not be limited to, necessary weeding, fertilizing, & watering. Plans shall be reviewed for approval by the Architectural Review Board.
9. Mechanical Equipment - Air conditioning units, electrical switch gear & panels compressors & similar mechanical & electrical equipment shall be at least 6 inches below the top of solid parapet walls & shall be painted to match the roof color so as not to be visable from any public right-of-way.
10. Outdoor Storage - Any outdoor storage is expressly prohibited.
11. Waste Disposal - All refuse disposal shall be enclosed by a solid decorative masonry wall, pursuant to the City of Duarte standard plan, adequate to conceal such facilities from adjoining properties.



DECORATIVE WALL BLOCK

15' LANDSCAPED SETBACK (NTS)

8'-0"

PROPOSED STREET

CURB & GUTTER

LANDSCAPED CORRIDOR
 (ADJACENT TO ALL RESIDENTIAL ZONES)

EXHIBIT NO. 6
 SCALE: 3/8" = 1'-0"

12. Outdoor Lighting - Outdoor lighting shall not exceed 16' in overall height & shall be located so as not to shine on any public right-of-way or any adjacent properties & shall be high pressure sodium low energy type.

F. IMPLEMENTATIONS

1. Before any building or structure is erected, a development plan shall have been submitted for review & approval to the Architectural Review Board, Pursuant to provisions of Duarte Municipal Code Section 19.70.210A.
2. Amendment - An amendment to the adopted Specific Plan shall follow the procedures as outlined in Calif. Government Code Section 65500.