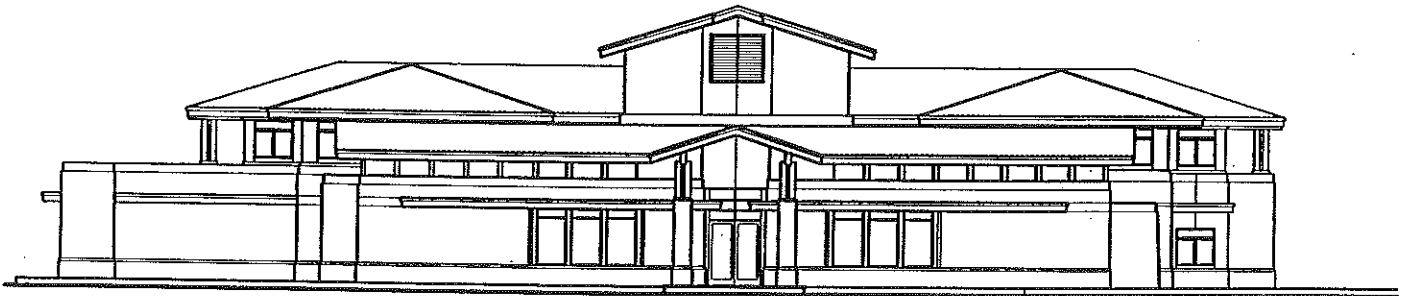


EXHIBIT "A"  
February 17, 1998

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# ENCANTO PARKWAY SPECIFIC PLAN

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WEST ELEVATION

**Encanto Parkway Specific Plan**

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## PURPOSE OF THE SPECIFIC PLAN

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The purpose of the Encanto Parkway Specific Plan is to provide housing for seniors through the development of a two-story assisted living building on 3.03 acres of land. The proposed senior facility will be located at 1168 Encanto Parkway. (Figure 1) As proposed, the site would be developed with a 25,700 square foot building that includes 36 private living units, four semi-private living units, four common dining rooms, a central kitchen and a chapel. In addition, a 1875 square foot triplex will be constructed to the northeast of the main building. The Specific Plan process will allow the City to incorporate considerable detail into the Development Plan so as to make the project compatible with the existing neighborhood. This Specific Plan will be a regulatory document establishing land use criteria and development standards.

The Encanto Parkway Specific Plan fulfills the intent of the Specific Plan requirements of the State of California and the City of Duarte.

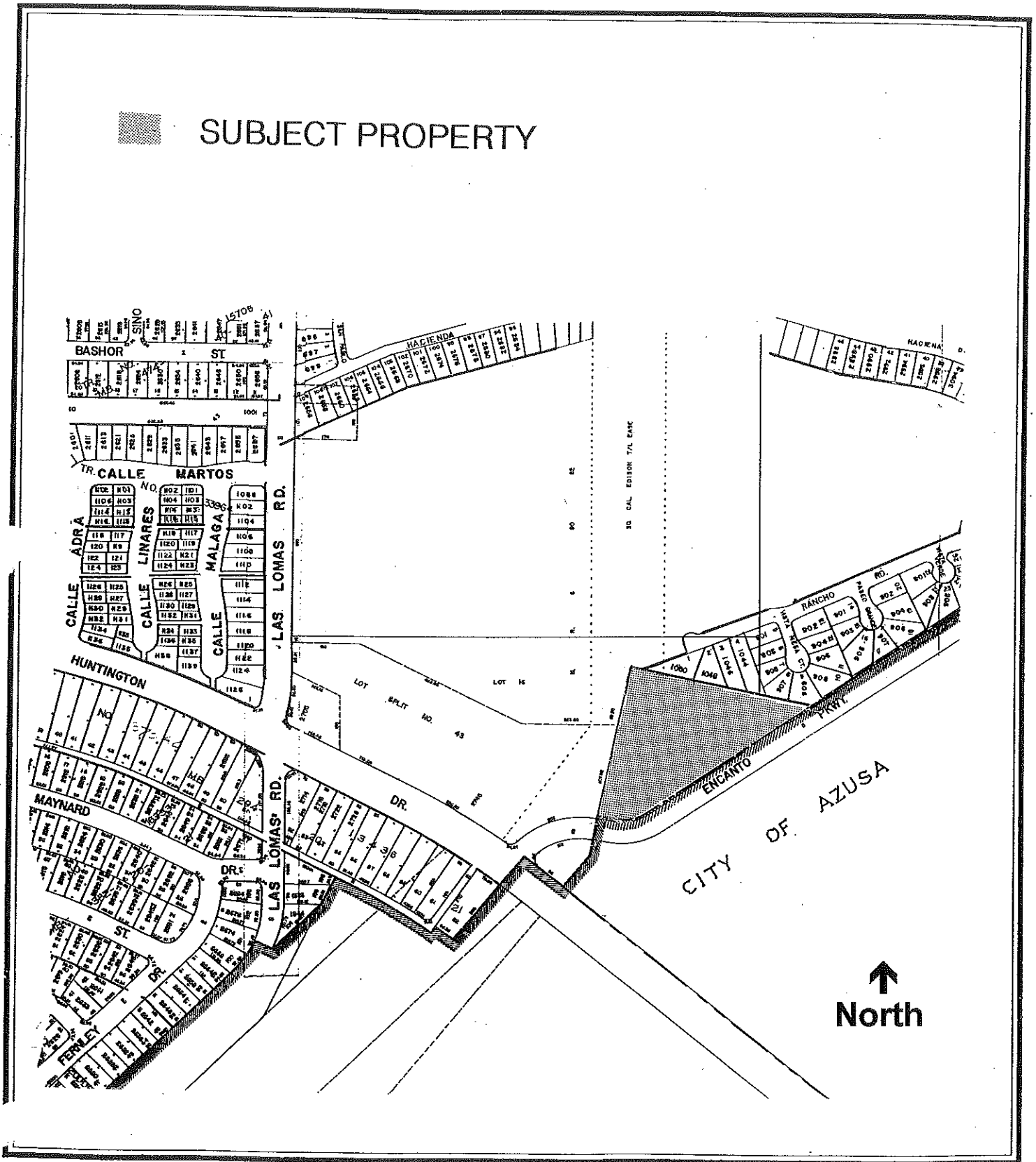
### **Authority**

The Encanto Parkway Specific Plan has been prepared in conformance with California Government Code, Sections 65450-65457 that regulates the preparation of specific plans. In addition, all applicable ordinances of the City of Duarte have been incorporated into the plan and the final document will replace zoning and land use regulations currently existing on the site. The land use standards outlined in the Encanto Parkway Specific Plan shall govern all areas within the project.

All ordinances, regulations, policies, and other guidelines applicable to the property not covered in this Specific Plan shall remain in effect. Any development standard not covered or addressed in this document shall conform to the R-4, Multi-Family Residential Zone.



SUBJECT PROPERTY



Vicinity Map

FIGURE I

## Interpretation

The Community Development Director of the City of Duarte, or assigned designee, shall have the responsibility to interpret the proposed Specific Plan and its provisions. All interpretations shall be in writing to ensure consistency of interpretations. Such interpretations shall be permanently maintained by the City of Duarte and be made available to the general public.

## PHYSICAL SETTING

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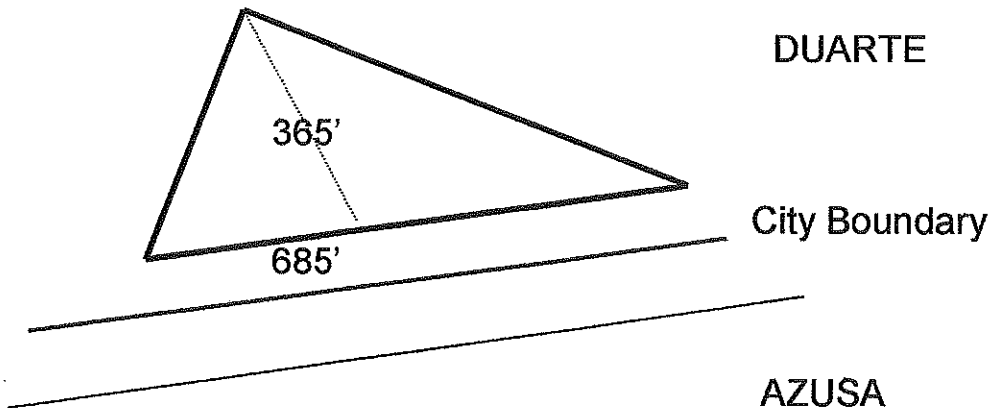
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This section of the Specific Plan is intended to provide information regarding the physical characteristics of the site and the intended use of the subject property.

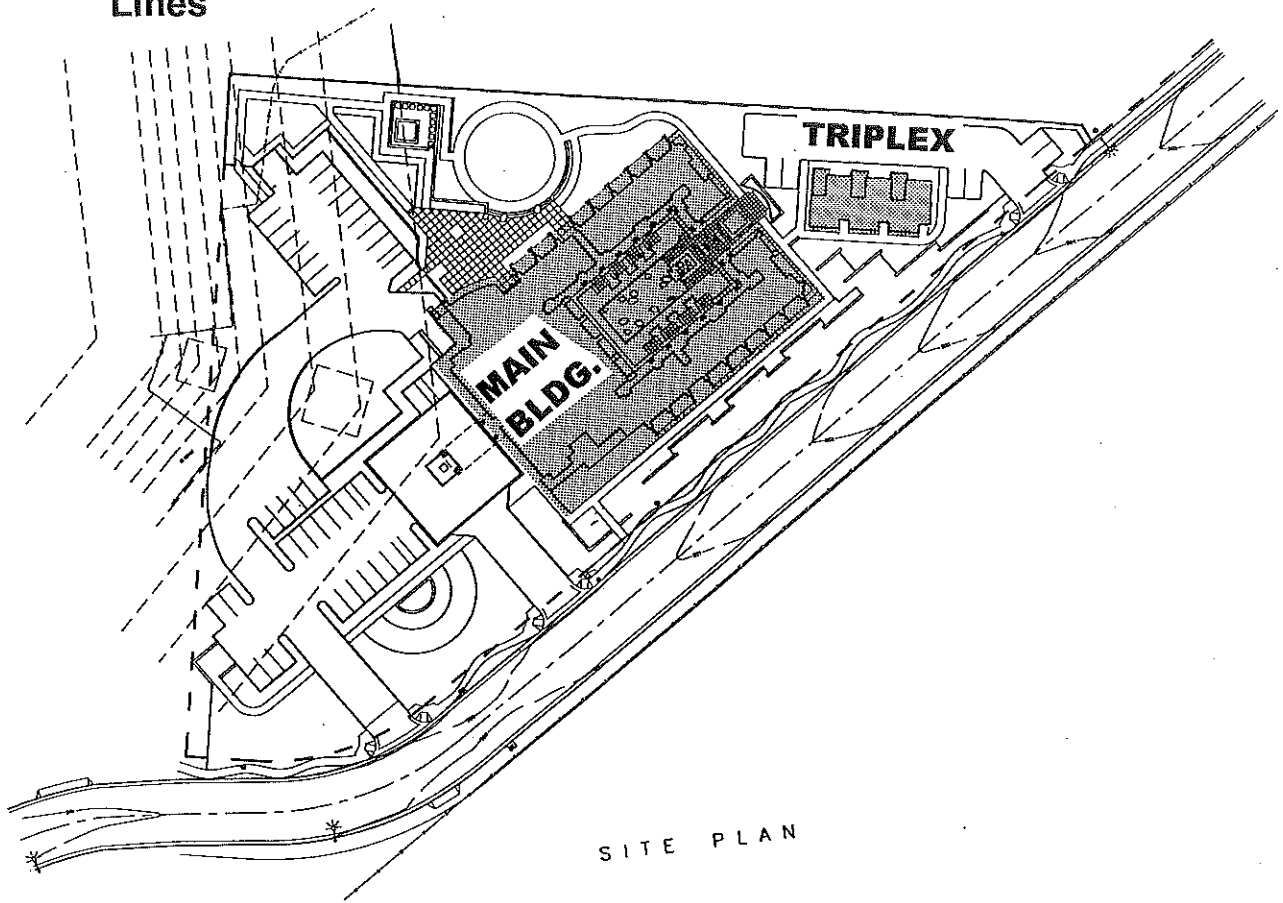
### Project Location and Setting

The planning area consists of 3.03 acres of vacant property, located approximately 250 feet north of Huntington Drive (Figure 1). Located on the West Side of Encanto Parkway, the site is adjacent to single family homes, the Las Lomas Golf Course, Varitronics Manufacturing and the vacated O'Brien Energy Plant. The site is vacant with the South Western portion of the property containing an Edison easement and overhead power lines. The land is legally described in Exhibit One of this document.

The property is triangular in shape and has an overall width along Encanto Parkway of 685 feet. The depth, at the greatest point, is 365 feet.



Transmission  
Lines



**SITE PLAN**

**FIGURE 2**

The property lies directly adjacent to the City's boundary line. The existing concrete curb on the North West side of Encanto Parkway is the boundary line between the City of Duarte and the City of Azusa. The street surface of Encanto Parkway is located in the City of Azusa.

Vehicular access to the site will be provided by Encanto Parkway, a Collector Street. Encanto Parkway can be accessed from Huntington Drive which is an arterial highway that serves as a east/west transportation corridor through the City of Duarte. Regional access to the site is provided by the Foothill Freeway (RTE 210) and the San Gabriel River Freeway (RTE 605).

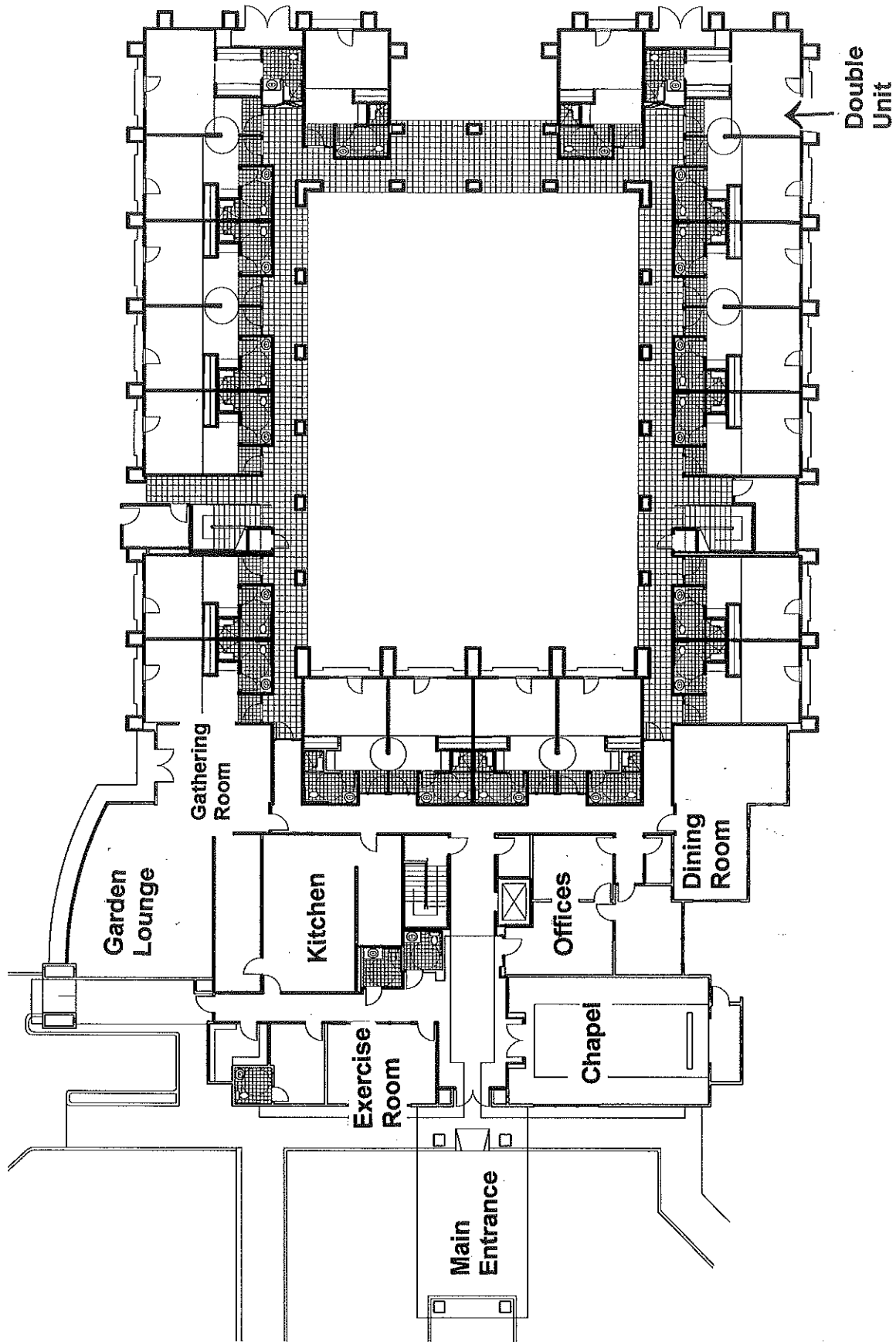
## **Description of the Facility**

The proposed development is intended to provide housing for seniors, mostly in private, single occupancy rooms without cooking facilities. There will be common dining areas located on both floors of the new building where three meals per day will be served to the residents. Daily housekeeping services will be provided. A shuttle service will provide transportation for residents for individual trips to shopping, doctor appointments and for local trips. Groups will also be shuttled on a daily basis to Santa Teresita Hospital for medical appointments and social activities.

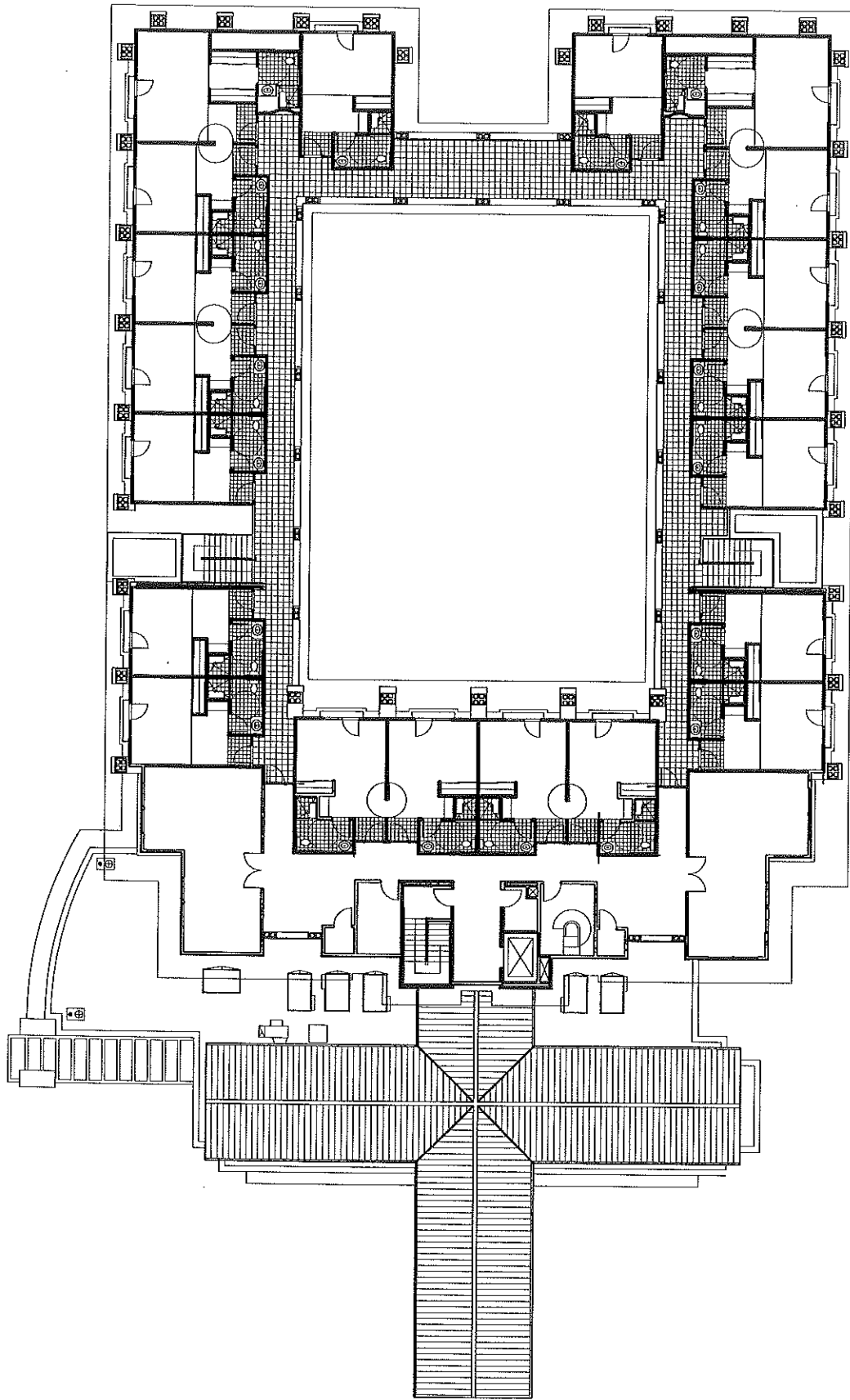
In order to accomplish this goal, the Encanto Parkway Specific Plan will allow for the development of a 25,700 square foot two-story building (Main Building), an 1875 square foot Triplex building, and a Porte Cochere at the building entrance. The main building will feature an outdoor courtyard at the center of the building. A large garden area will also be provided at the rear of the site and extensive landscaping will be provided along the 685 foot street frontage. Parking facilities will be provided via three parking lots containing 48 off-street parking stalls (Figure 2).

The main building will house 40 senior units. Thirty-six of the units will be single occupancy rooms that have 350 square feet of floor area in each unit. Four of the units will be double occupancy rooms with 450 square feet of floor area. The main building will also house a chapel, a central kitchen, an exercise room, four dining rooms, four gathering rooms, administrative offices, and housekeeping/laundry facilities. (Figure 3)





FIRST FLOOR PLAN



SECOND FLOOR PLAN

The triplex building will house three independent living units for seniors who desire separate quarters and kitchen facilities. (Figure 4)

Consistent with the City's Early California design theme, the project will feature clay tile roofs, wood fascias, and exterior patios. The land use section of this document describes the project in greater detail.

## **CONFORMANCE WITH CITY PLANS**

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The development of the subject property is regulated by the City of Duarte through its General Plan, Zoning Ordinance and Redevelopment Plans. The following discussion reviews the proposed project and determines conformity with the existing plans.

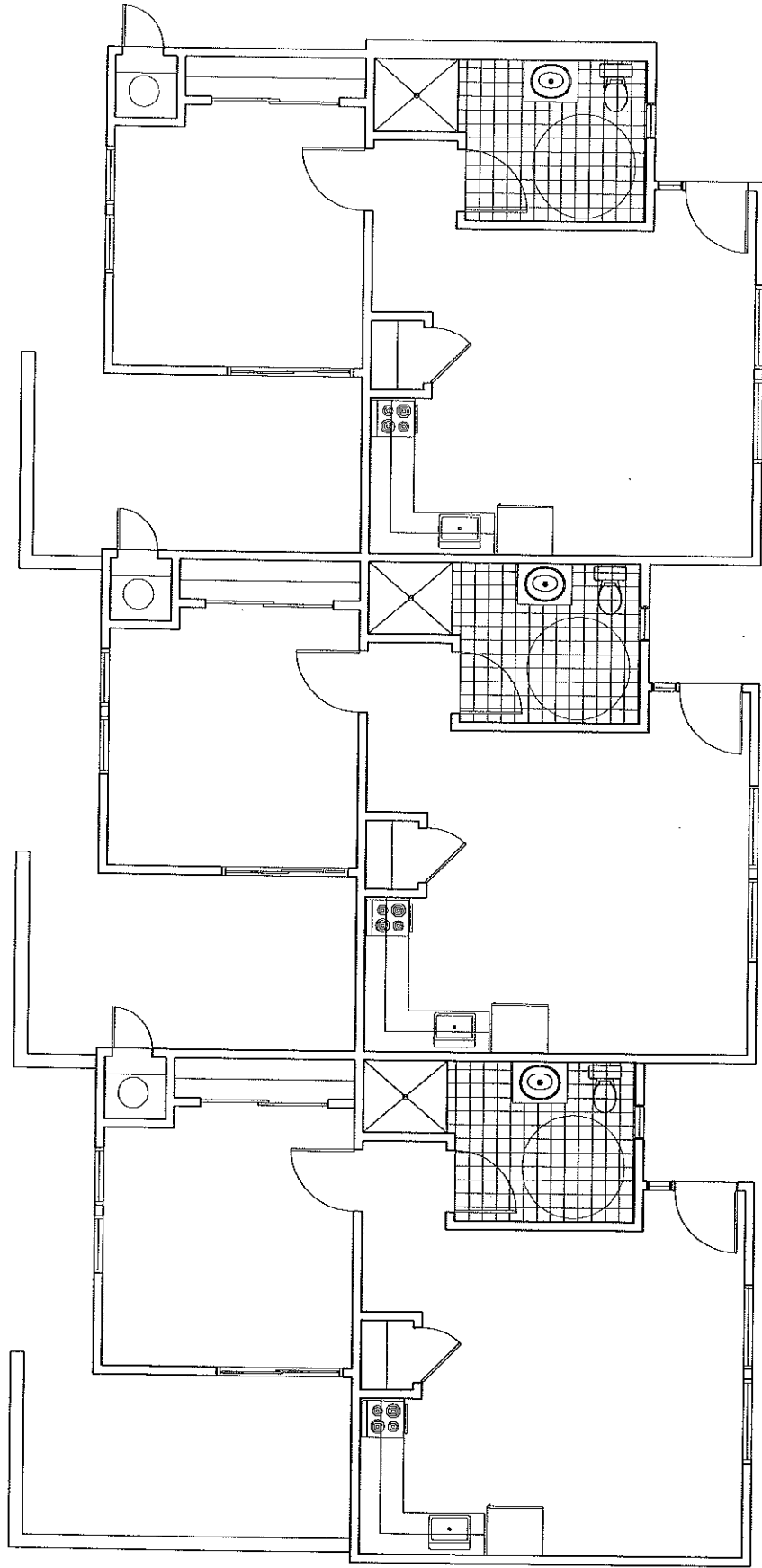
### **General Plan**

In accordance with the Housing Element of the Duarte General Plan, the proposed development will enhance the residential character of the City of Duarte and provide a housing type that is needed in the community.

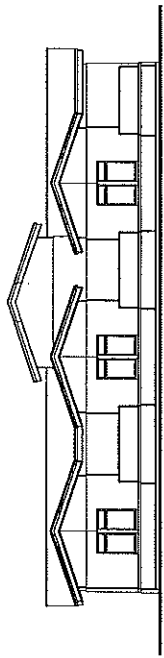
The Housing Element recognizes that the City's senior population is a valuable resource which needs to be protected and enhanced. Goals and policies were established within the Housing Element to "encourage and support existing and future development of senior housing and assistance programs".

The proposed project will provide housing for seniors who need assisted living facilities. The proposed project will also implement statewide goals of adequate housing for all persons regardless of income, age, sex, race, ethnic background, physical status, or family status.

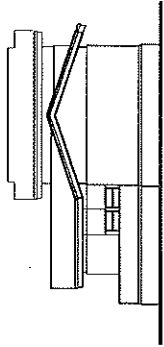
The Land Use Element of the City's General Plan designates the subject property as Industrial. Industrial land uses in Duarte are concentrated south of the I-210 and along the easterly portion of Huntington Drive. The subject



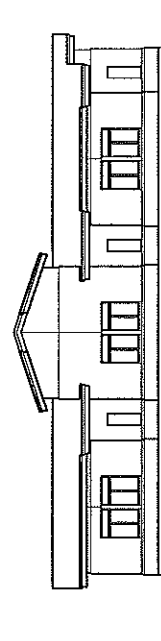
CASITA FLOOR PLAN



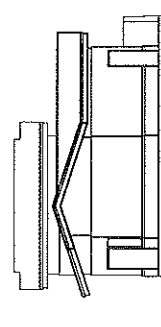
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

CASITA ELEVATIONS

property is the northern most "tip" of the industrial area along Huntington Drive. The predominant land use designation for properties directly to the north of the subject property is Low Density Residential. The proposed senior housing project will provide a transitional land use between Industrial and Low Density Residential designations.

In order to develop the site with a residential development, the General Plan Land Use designation will need to be changed to the appropriate classification. In this particular case, the classification would change to "Specific Plan". Under this land use classification, the site could only be developed upon the approval of a specific plan of development.

In accordance with the Noise Element of the Duarte General Plan, the proposed development will separate noise generating land uses from noise sensitive land users. The proposed project will buffer the residents who reside in the Rancho Duarte homes around the golf course from industrial land uses. In addition, the proposed development complies with Goal 1 of the Noise Element which is "to maintain a quiet environment in Duarte's residential neighborhoods". Lastly, construction techniques will be incorporated into the project to reduce noise levels associated with vehicular traffic along Encanto Parkway and Huntington Drive. The development of the site will not adversely affect existing noise levels by increasing these levels.

## **Zoning**

Current zoning on the subject property is M-1 (Light Manufacturing). Under this classification, the site is required to be developed with manufacturing, warehousing or light industrial activities.

To facilitate this type of development, a zone change must occur. This specific plan has been prepared to facilitate the residential development of the site.

The Encanto Parkway Specific Plan will replace the M-1 zoning regulations and constitute zoning for the site. All development standards and land use regulations are defined in this document.

## **Redevelopment Plan**

The subject property is located in the Huntington Drive Phase One Project Area. A major objective of the redevelopment plan is to encourage and facilitate the construction of residential development for a variety of housing needs. It is intended for new residential development to be compatible with adjacent properties and be well landscaped to enhance the living environment. The proposed development meets and exceeds these objectives.

## **DEVELOPMENT PLANS**

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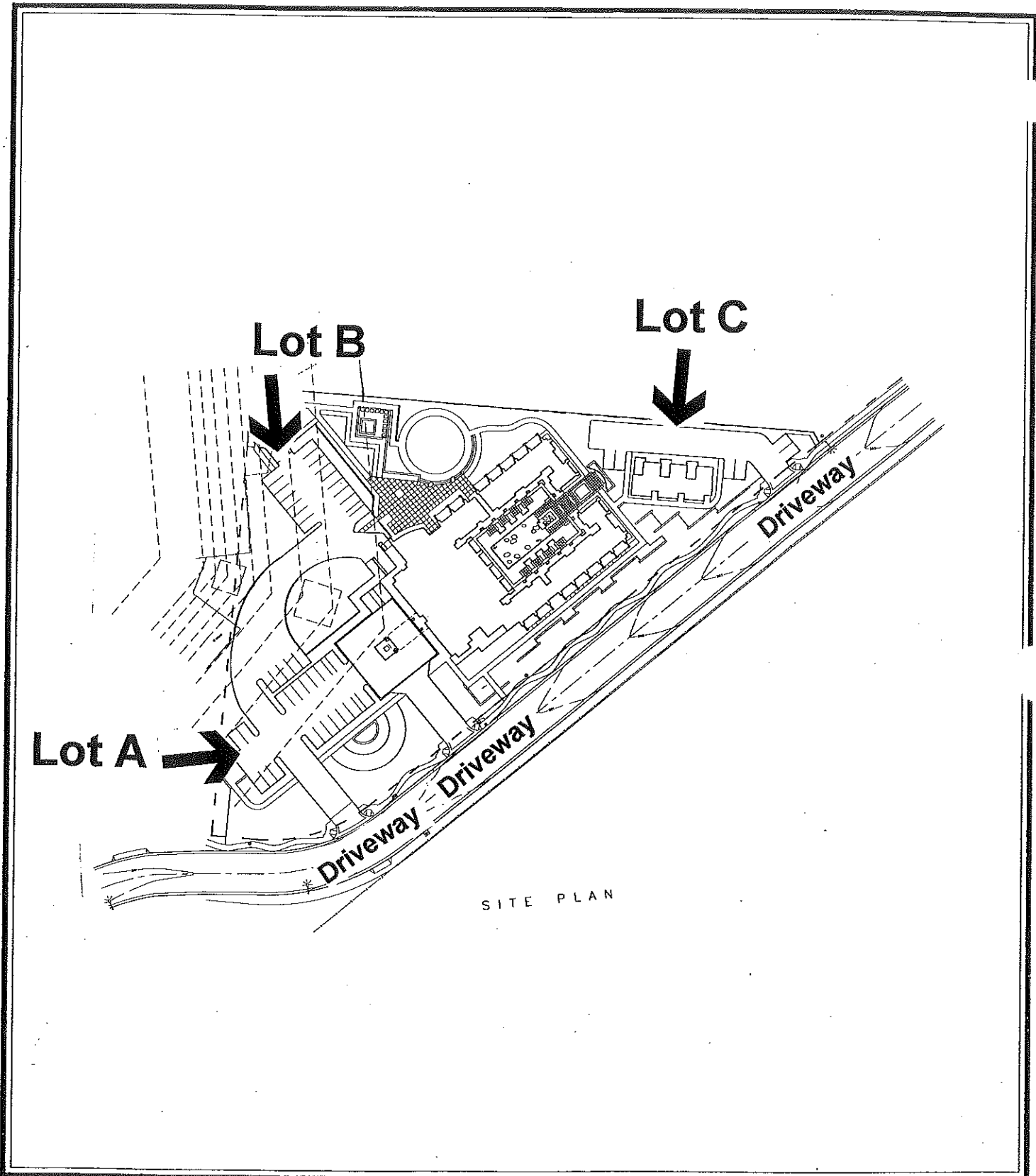
The development plan consists of the following components: land use, circulation, landscaping, architectural concepts, & public infrastructure. The following discussion describes these plan components in greater detail.

### **Land Use**

The proposed land use consists of a residential development for seniors who are in need of assisted living. The proposed land use is compatible with the surrounding land uses which are residential, recreational, and light industrial.

Dispersed throughout the site in three parking lots are 48 open parking spaces. The parking spaces in Lot A will be utilized by visitors, employees of the complex and in some case residents of the complex. The staff on site will be comprised principally of dietary and housekeeping personnel. Additionally, there will be an administrator, office manager and one nurses aide. It is anticipated that the day staff will be seven employees and the night staff will be three employees. Parking Lot B will be utilized for overflow parking during peak visiting periods or special events. Parking Lot C will be used primarily by the residents of the Triplex. (Figure 5)

The circulation system features three drive entrances which can be used for two way traffic, both ingress and egress. The northern most drive entrance will



**Parking & Circulation Plan**

**Figure 5**



provide ingress and egress to Parking Lot C for the Triplex building. The central drive entrance will provide access to porte cochere for dropping off residents and for accessing the main entrance to the building. The southern most driveway will provide access to parking lots A and B.

On street parking is not permitted in front of the subject property. The curb is red curbed and parking is not permitted at any time.

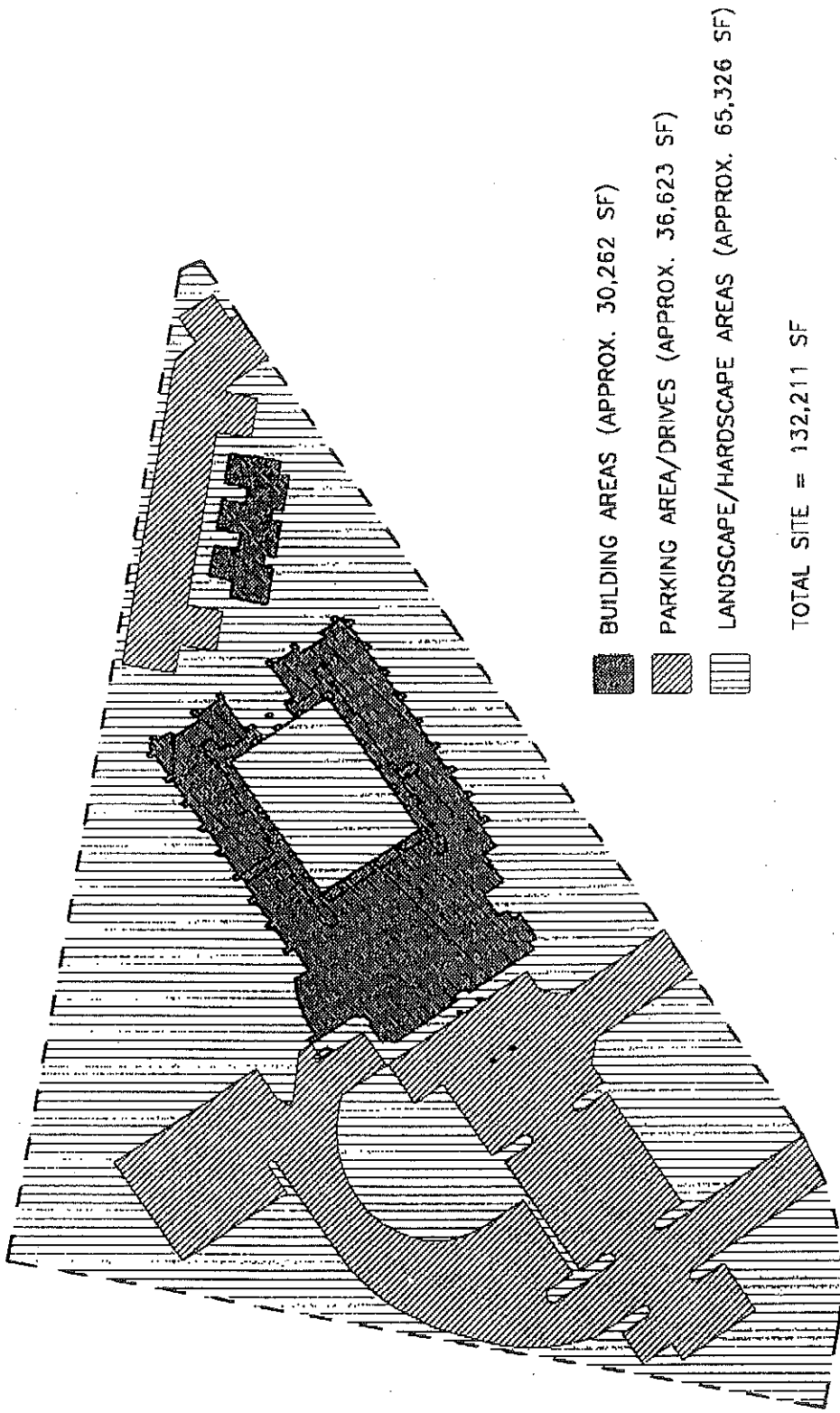
## **Landscaping**

In order to make the site attractive and more livable, the use of gardens, courtyards and landscaped setbacks will be utilized. Approximately 50 percent of the site will be covered with landscape and decorative hardscape materials. (Figure 6) Landscaping and low walls will be used as visual and noise buffers along Encanto Parkway. Large specimen flowering trees and canopy street trees will define the main entry. A Rose Garden will be featured between the two main drive entrances, adjacent to the street. Tall shrubs will be planted in the easement area that contains power lines in an effort to reduce the visual impacts of the transmission towers. Trees, annuals, shrubs, turf and ground cover will be used extensively throughout the development.

## **Architectural Concepts**

Given the environmental setting of the site, it is important that the development be of high quality and proper scale. The San Gabriel River, which lies to the east of Encanto Parkway, creates an open vista of the subject property. Additionally, the golf course which lies to the west of the property provides an open space area with views of the foothills.

The proposed scale of the project should be complimentary to the environmental setting. The main building will have a maximum height of 33 feet and an average height of 26 feet. The scale and height of the proposed project should blend appropriately with the adjacent two story homes.



LOT COVERAGE ANALYSIS  
 SANTA TERESITA ASSISTED LIVING

1168 ENCANTO PARKWAY

QUARTZ, CALIFORNIA  
 JANUARY 17, 1998  
 1/2" = 1' SCALE



Figure 6

The proposed building materials are in compliance with Duarte's Early California architectural theme. The exterior finish of the building will be steel troweled cement plaster. (Figure 7) The architecture of the complex utilizes varying roof and ridge heights. The roof materials will be clay tile and the fascias will be wood.

## **INFRASTRUCTURE/PUBLIC SERVICES**

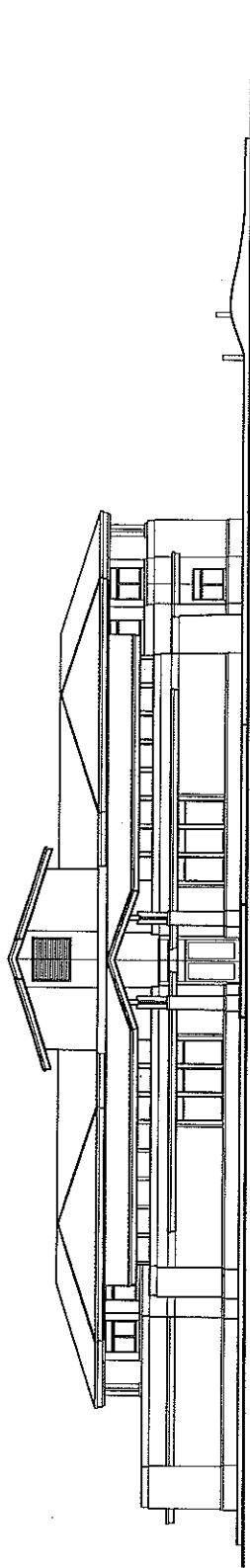
The project site is located in an area of the City which has a completed infrastructure. The following section discusses this infrastructure and the necessary steps required to tie the project into the system.

### **Drainage**

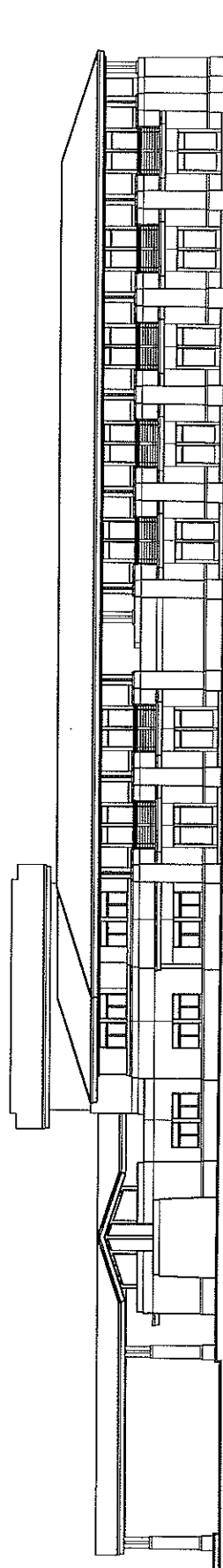
Existing water runoff is generally in a southerly direction towards Huntington Drive. A natural culvert runs through the property in a north/south direction. In addition, an underground pipe crosses the subject property, runs under Encanto Parkway and empties into the river basin. The pipe collects water runoff from Rancho Road and the cul-de-sac streets which branch off of Rancho Road. To address these drainage issues, a drainage plan and a grading plan shall be submitted and approved prior to the development of the property.

### **Street System**

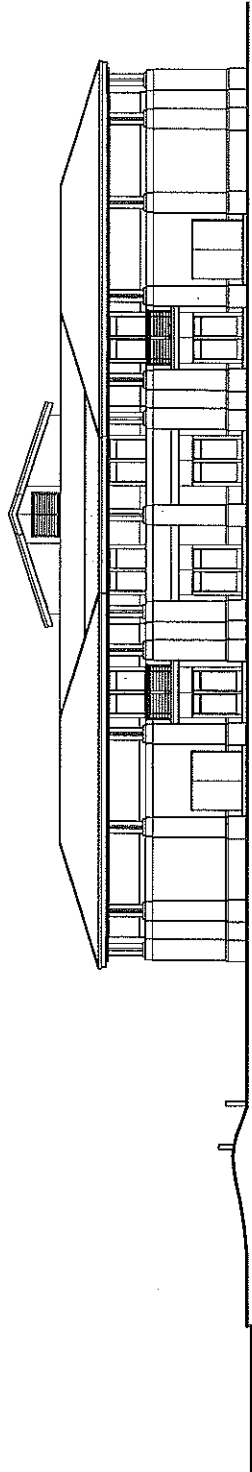
This project will result in three new curb cuts on Encanto Parkway. The existing curb is located within the City of Duarte's boundaries, however, the asphalt street area is in the City of Azusa. Therefore, all curb cuts must meet the standards of the Duarte Public Works Division. All street cuts must meet the standards of the Azusa Public Works Division. The applicant will be responsible for obtaining all encroachment permits from the City of Azusa and the City of Duarte. A lighting plan for street lights must be approved by the City Engineer for Duarte prior to occupancy of the buildings.



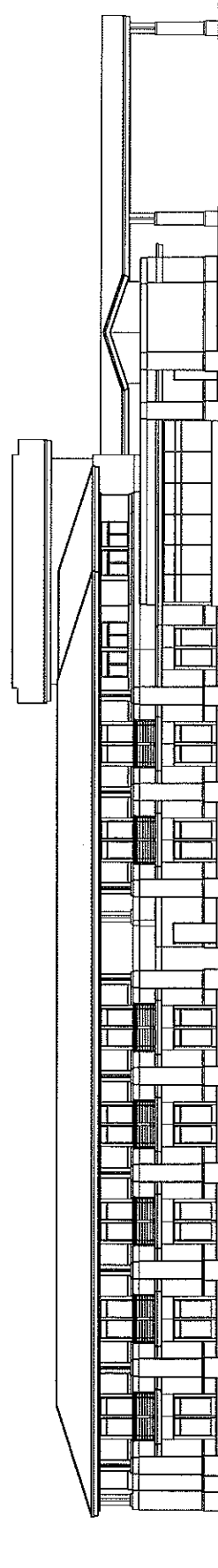
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

## **Waste**

The project site is located in Los Angeles County Sanitation District No. Twenty-two. The project will be connected to the public sewer system at the time of development. Plans will be submitted to and approved by the Los Angeles County Sanitation District and City Engineer. The disposal of solid waste will be handled by the City's waste disposal company. Automated service will be provided to the complex. A trash enclosure will be required by the City of Duarte for the disposal of solid waste. Plans detailing the location and materials of the trash enclosures shall be submitted to and approved by the City's Architectural Review Board.

## **Public Transportation**

A variety of public transportation opportunities will be available to new residents in the development. The facility will operate a shuttle service to provide residents with transportation to shopping, doctor appointments and local errands. Daily shuttle transportation will also be provided to Santa Teresita Hospital. In addition, the Foothill Transit District operates a number of bus lines throughout the City. This transportation system allows an individual to utilize other bus lines within the City of Duarte as well as to the surrounding region. Regional transit is also provided by the Los Angeles County Metropolitan Transportation Agency (MTA).

In addition, the City currently operates a transit system on a fixed route basis. The proposed Specific Plan will not require an expansion of the existing transportation services.

# **DEVELOPMENT STANDARDS**

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## **I. Purpose and Intent**

The following development standards are applicable to all structures constructed within the Encanto Parkway Specific Plan area. In adopting this specific plan it is recognized that when addressing senior citizen housing there are development standards unique to seniors, and that such matters should be specifically addressed.

## **II. General Development Standards**

1. Any development standard not provided for in this Specific Plan shall be in accordance with the R-4 (Multiple Family Residential) standards of the Duarte Municipal Code.
2. At all times, the primary purpose of the main building shall be to house senior citizens.
3. Any change in ownership, intensity of use, or changes in operations of this facility, shall necessitate the obtaining of a Conditional Use Permit from the City of Duarte to assure compliance with the Encanto Parkway Specific Plan.
4. All utilities which service the new facility shall be placed underground. (The existing Edison power lines are exempted from this provision.)
5. Exterior lighting and street lighting shall be decorative in a form approved by the City's Architectural Review Board.
6. The developer shall construct a meandering sidewalk adjacent to Encanto Parkway subject to review and approval by the City Engineer.
7. The developer shall contact the City of Azusa, completely separate from all reviews by the City of Duarte, to obtain an Encroachment Permit for work to be performed in the street right-of-way area.

## **III. SPECIFIC DEVELOPMENT STANDARDS**

### **PERMITTED USES**

1. Administrative Offices: Offices relating to the administration and operation of the assisted living facility.
2. Antennas and Satellite Receiving Antennas: Subject to review and approval by the City of Duarte Architectural Review Board. Satellite Antennas that are

greater than two feet in diameter shall be ground mounted and located in a side yard or rear yard area. Roof mounting is prohibited. (Antennas less than two feet in diameter are exempt from review.)

3. Chapel: Interior area used for the conducting of organized religious services and associated activities and uses. The chapel shall be limited to the private use of the residents at the facility.
4. Dining Facilities: Dining rooms for sit down eating activities by residents and including central kitchen and food preparation.
5. Exercise Room: A fitness center and exercise room for residents of the facility.
6. Gardens and Outdoor Courtyards: Usage of gardens and extensive landscaping is a key feature of this development.
7. Gathering Rooms: Rooms established for conducting meetings, recreational activities and gatherings.
8. Housekeeping & Laundry Services: Housekeeping services as is customarily associated with assisted living facilities.
9. Parking: Off-street parking structures, open parking lots and on-site circulation. A total of 48 parking spaces shall be provided at all times on the site.
10. Residential Facilities: Shall consist of 36 private units and 4 semi-private units without cooking facilities.
11. Signage: Signs shall be permitted for the identification of the facility, subject to approval by the city's Architectural Review Board. Other types of signs shall be reviewed on a as needed basis.
12. Triplex: The triplex, also known as the "casitas" shall provide three private units with cooking facilities.



## CONDITIONAL USES

The following uses may be permitted subject to a conditional use permit as provided for in Chapter 19.70 of the Duarte Municipal Code.

Outdoor Recreational Facilities including swimming pools, tennis courts, craft shops, or outdoor eating areas which result in large gatherings of people.

Buildings or structures in excess of 35 feet may be constructed if a conditional use permit for such construction is first granted by the Planning Commission.

Proposals to change the intensity of the use or changes in ownership shall be reviewed under a conditional use permit.

## PROHIBITED USES:

Any uses not specifically listed in Section III shall be prohibited.

## SITE DEVELOPMENT

1. LOT COVERAGE – Maximum lot coverage of all structures, including accessory buildings, shall not exceed 60 percent of total land area. All existing parcels and utility easements, as indicated in “Exhibit A”, shall be considered as the comprehensive land area.
2. BUILDING HEIGHT – No building or structure erected in the Encanto Parkway Specific Plan shall have a height greater than two and one-half stories or thirty-five feet which ever is less, except by conditional use permit.

Exceptions: The following may project above the maximum height limit subject to approval by the Architectural Review Board:

Architectural Elements which provide visual variation and relief.  
Chimneys.

Elevator penthouses and ventilating fans.  
Mechanical equipment enclosures.  
Steeple.

3. SETBACKS – This section establishes yard areas which shall be permanently maintained. A building or structure shall not occupy any portion of a required yard.

A. Front Yard : The front yard shall be measured perpendicular to the front property line bordering Encanto Parkway. A front yard of not less than ten feet shall extend across the full width of the property. The required front yard shall not be used for storage of automobiles, installation of mechanical equipment, or for the storage of any materials.

B. Side Yard: A side yard of not less than 20 feet is required when abutting a residential zone. When a yard does not abut a residential zone, the side yard shall be a minimum of 5 feet for single story structures and 10 feet for all two story structures.

C. Rear Yard: Each lot shall have a rear yard of not less than 20 feet.

The following exceptions are allowed in a required rear yard area subject to approval by the Architectural Review Board:

- Drive Aisles
- Flagpoles
- Fountains and Statuary
- Landscaping and Gardens
- Patios (Uncovered)
- Walkways

4. WALLS – A decorative masonry wall shall be constructed around the entire perimeter of the property unless prior evidence is presented to the Architectural Review Board that the abutting property will not be impacted by the new development. No wall shall exceed a height of eight (8) feet,

measured from the highest grade. All walls shall be constructed of decorative masonry. A master wall plan shall be submitted to the Architectural Review Board for review and approval prior to the issuance of building permits for the main building.

5. PARKING – Each of the triplex dwelling units shall have two parking spaces located in close proximity to the units. Parking facilities for the Main Building shall provide 42 parking spaces in Lots A and B. Any request to reduce the total number of parking spaces will result in an application for modification to the specific plan and will require a public hearing.

## MODIFICATIONS

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Major Changes - The owner may initiate an amendment to the provisions of this specific plan if substantial changes are required in the project during the development process. An amendment shall be in conformance with California Government Code, Sections 65450-65457 .

Minor Changes – Minor revisions or modifications to approved component plans may be approved by the Community Development Director. All request for modifications or minor changes shall be in writing. Such minor revisions may include the following:

1. Parking and circulation configurations which do not change the basic parking areas or circulation concept.
2. Grading alternatives which do not change basic concept, increase slopes or change course of drainage which could adversely affect adjacent or surrounding properties.
3. Architectural or landscape architectural modifications which do not alter the overall design concept or significantly reduce the effect originally intended.

## REQUIRED APPROVALS

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The following documents will be prepared for approval by the City of Duarte to ensure that development of the site proceeds in an orderly fashion. These applications shall be approved prior to the issuance of building permits.

### Environmental Review

The City of Duarte will prepare an environmental review of the specific plan as required by the California Environmental Quality Act (CEQA) to determine the potential environmental effects.

### General Plan Amendment

The land use classification of the general plan will be amended from a classification of *Industrial* to a classification of *Specific Plan*. The General Plan Amendment shall be adopted by the Duarte City Council. This General Plan Amendment will insure that the goals contained in the Housing Element of the General Plan, which are related to diverse housing for the elderly, can be implemented.

### Specific Plan

This specific plan will be reviewed at two public hearings by the Planning Commission and the City Council. The objective of this plan is to provide land use, design, and controls in the project area to insure compliance with city standards and the City's General Plan.

### Architectural Review Board

The city's Architectural Review Board will review the Final Landscaping Plan, Grading Plan, Wall Plan and Roof Equipment Screen Plan prior to the issuance of building permits.

**EXHIBIT "ONE"**

**PARCEL 1:**

Those portions of land situated in the City of Duarte, being that portion of Rancho Azusa De Duarte, Section 28, Township 1 North, Range 10 West, San Bernardino Base and Meridian, as shown on map recorded in book 2 pages 560 and 561, of Patents in the office of the recorder of said county, and of Lot 16 of subdivision of Rancho Azusa De Duarte, as shown on map recorded in book 6 pages 80 to 82 inclusive of Miscellaneous Records in the office of said recorder, described as follows:

Commencing at the intersection of the centerline of Foothill Boulevard, 100 feet in width, as shown on map recorded in book 7884 page 48 of Official Records in the office of said recorder, with the Northerly terminus of that certain course recited as North 38° 33' 18" East 982.32 feet, more or less, in the final judgment as to Tract no. 18 in Civil Case No. 2716-PH, in the district court of the United States, Southern California, central division; thence along the boundary of said Tract No. 18, North 38° 33' 18" East 164.03 feet; thence North 10° 16' 03" East 429.59 feet to the true point of beginning.

Thence leaving said boundary North 89° 40' 17" East 44.21 feet to the beginning of a tangent curve concave Southerly and having a radius of 500.00 feet;

thence Easterly along said curve through a central angle of 10° 35' 46" a distance of 92.47 feet;

thence tangent to said curve South 79° 43' 57" East 254.08 feet to the beginning of a tangent curve concave Northerly and having a radius of 150.00 feet;

thence Easterly along said curve through a central angle of 44° 09' 05" a distance of 115.59 feet to the Northwesterly right of way line of Encanto Parkway (60 feet wide);

thence along said Northwesterly right of way line, North 56° 06' 58" East a distance of 42.16 feet;

thence North 24° 01' 11" West a distance of 11.46 feet to the southeasterly corner of Tract 35415 recorded in book 926 pages 73 through 77 inclusive of Maps, in the office of the county recorder of said county;

thence along the Southerly line of said Tract 35415, North 80° 06' 26" a distance of 517.76 feet to the boundary of said Tract 18;

thence along the boundary of said Tract No. 18, South 10° 16' 03" East a distance of 94.66 feet to the true point of beginning.

**PARCEL 2:**

Commencing at the Northerly terminus of the course recited as North 38° 33' 18" East 164.03 feet in Parcel No. 1 above; thence continuing along the boundary of said Tract No. 18 North 10° 16' 03" 105.70 feet to the true point of beginning same being on the Northerly right of way line of Encanto Parkway (60 feet wide);

thence along said Northerly right of way line, south  $79^{\circ} 43' 57''$  East a distance of 40.74 feet to the beginning of a tangent curve concave Northerly and having a radius of 144.92 feet;

thence Easterly along said curve through a central angle of  $44^{\circ} 09' 05''$  a distance of 111.67 feet;

thence North  $56^{\circ} 06' 58''$  East a distance of 307.00 feet to the beginning of a tangent curve concave Westerly having a radius of 15.00 feet;

thence leaving said Northerly right of way line, Northeasterly, Northerly and Northwesterly along said curve through a central angle of  $135^{\circ} 50' 55''$  a distance of 35.5<sup>7</sup>/<sub>7</sub> feet;

thence tangent to said curve, North <sup>79</sup>~~79~~ $^{\circ} 43' 57''$  West 216.11 feet to the beginning of a tangent curve concave Southerly and having a radius of 440.00 feet;

thence Westerly along said curve through a central angle of  $10^{\circ} 35' 46''$  a distance of <sup>8</sup>~~7~~1.37 feet;

thence tangent to said curve South  $89^{\circ} 40' 17''$  West a distance of 55.43 feet to the boundary of said Tract 18;

thence along the boundary of said Tract 18 South  $10^{\circ} 16' 03''$  West a distance of 262.85 feet to the true point of beginning.

#### PARCEL 3:

Commencing at the intersection of the centerline of Foothill Boulevard, 100 feet in width, as shown on map recorded in book 7884, page 48 of Official Records, in the office of said recorder, with the Northerly terminus of that certain course recited as North  $38^{\circ} 33' 18''$  East 982.32 feet, more or less, in the final judgment as to Tract No. 18 in Civil Case No. 2715-PH, in the district court of the United States, Southern California, Central Division; thence along the boundary of said Tract No. 18, North  $38^{\circ} 33' 18''$  East 164.03 feet; thence North  $10^{\circ} 18' 03''$  East 429.59 feet to the true point of beginning.

thence leaving said boundary North  $89^{\circ} 40' 17''$  East 44.21 feet to the beginning of a tangent curve concave southerly and having a radius of 500.00 feet;

thence Easterly along said curve through a central angle of  $10^{\circ} 35' 46''$  a distance of 92.47 feet;

thence tangent to said curve south  $79^{\circ} 43' 57''$  East 254.08 feet to the beginning of a tangent curve concave Northerly and having a radius of 150.00 feet;

thence Easterly along said curve through central angle of  $44^{\circ} 09' 05''$  a distance of 115.59 feet to the Northwesterly right of way line of Encanto Parkway (60 feet wide);

thence along said Northwesterly right of way line, South  $56^{\circ} 06' 58''$  West 183.96 feet to the point of cusp with a curve concave Westerly and having a radius of 15.00 feet;

thence leaving said Northwesterly right of way line, Northeasterly, Northerly and Northwesterly along said curve through a central angle of  $135^{\circ} 50' 55''$  a distance of 35.5<sup>7</sup>/<sub>7</sub> feet;