

DUARTE GARDEN SPECIFIC PLAN

FOR

TENTATIVE TRACT MAP 062319

CITY OF DUARTE

LEAD AGENCY:
CITY OF DUARTE

PREPARED BY:
VISTA COMMUNITY PLANNERS (VISTA)
1278 GLENNEYRE STREET, SUITE 110
LAGUNA BEACH, CALIFORNIA 92561
CONTACT: FRED TALARICO

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SECTION 1: INTRODUCTION

Purpose

The purpose of the Duarte Garden Specific Plan is to facilitate the development of seventeen (17) single family dwelling units on 1.51 net acres of land. Of the 17 single family dwelling units 13 would be detached and 4 would be attached. The Specific Plan is located adjacent to Huntington Drive. To the north of the project is existing residential and existing City Park. To the east of the project is existing multi-family residential homes. To the west of the project is a church. The Specific Plan process will allow the City to incorporate considerable detail into the Development Plan so as to make the project compatible with the existing neighborhood. This Specific Plan will be regulatory document establishing land use criteria and development standards.

The Duarte Garden Specific Plan fulfills the intent of the Specific Plan requirements of the State of California and the City of Duarte. Specific Plans are allowed pursuant to Section 65450 et. seq. – 65457 of the California Government Code, as an effective tool for the implementation of General Plan policies and priorities. The effect of a Specific Plan is that zoning, subdivisions, public works projects and development agreements must be consistent with the adopted Specific Plan.

Authority

The Duarte Garden Specific Plan has been prepared in conformance with California Government Code, Sections 65450-65457 which regulates the preparation of specific plans. In addition, all applicable ordinances of the City of Duarte (City) have been incorporated into the plan and the final document will replace zoning and land use regulations currently existing for the site. The land use standards outlined in the Duarte Garden Specific Plan shall govern all areas within the project.

All ordinances, regulations, policies, and other guidelines applicable to the property not covered in these Specific Plan shall remain in effect. Any development standard not addressed in this document shall conform to the Planned Unit Development Zone (PUD).

General Plan

This Specific Plan represents a tool to implement the policies and elements of the Duarte General Plan. The basic purpose of the General Plan is to state clearly the policy of a community regarding how it shall develop physically, socially, and economically. A Specific Plan refines these policies as they relate to a particular parcel of land or area within the City. For this reason, an evaluation of consistency with the Duarte General Plan is an integral part of the Specific Plan.

Interpretation

The Community Development Director of the City, or assigned designee, shall have the responsibility to interpret the proposed Specific Plan and its provisions. All

interpretations shall be in writing to ensure consistency of interpretations. Such interpretations shall be permanently maintained by the City and shall be made available to the general public.

SECTION 2: PHYSICAL SETTING

This section of the Specific Plan is intended to provide information regarding the physical characteristics of the site and the intended use of the subject property.

Project Location and Setting

The Specific Plan planning area consists of three lots totaling approximately 1.51 net acres of vacant land. The project site is located along the northerly side of Huntington Drive, the site is adjacent, to the west a future park/community open space and a church, to the north an existing residential neighborhood and city park, and to the east an existing multi-family residential use. The proposed Specific Plan includes a lot which was acquired by the redevelopment agency in order to develop the site residentially.

Vehicular access to the Specific Plan site will be provided by Huntington Drive, a major arterial highway that serves as an east/west transportation corridor through the City of Duarte and adjacent cities. Regional access to the Specific Plan site is provided by the Foothill Freeway (RTE 210) and the San Gabriel River Freeway (RTE 605). Figure 1, Regional Location show, the Specific Plan site in relation to its to the regional setting. Figure 2, Vicinity Map, depicts the Specific Plan site in relation to its local setting.

Existing Trees

There were a total of twenty-six (26) trees investigated in the Arborist Report (Appendix A), which included trees within the Specific Plan area and adjacent sites. Within the Specific Plan area there are nineteen (19) existing trees. Of the total trees inspected in the Arborist Report, there was a Coast Live Oak, Chinese Elm, and California Pepper. Based on the Arborist report no construction activities were likely to have any impact on the Chinese Elm. However, the report includes preservation measures for the Coast Live Oak and California Pepper which will be incorporated as part of the proposed development.

Coast Live Oak

As suggested by the Arborist Report, the following preservation measures will be utilized in the vicinity of the Oak Tree:

1. A six (6) foot chain-link barricade fencing is to be installed prior to grading of the Specific Plan and to remain until a written removal notice issued by an oak tree consultant.
2. All grading for the driveway closest to the Oak Tree (see Appendix A for location) and all pruning for vertical clearance shall be accomplished under the supervision of an oak tree consultant.
3. No irrigation and trenching will be within twenty (20) feet of the oak's trunk.

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4. No grade alteration within thirty (30) feet of the oak's trunk will occur except when under direct supervision of an oak tree consultant.

California Pepper:

As suggested by the Arborist Report, the following preservation measures will be utilized in the vicinity of the California Pepper:

1. All excavation for footings at the property line wall shall be under the supervision of a tree consultant.
2. All pruning for vertical clearance will be under the direct supervision of a tree consultant.

As recommended by the Arborist Report, the development proposes to remove all remaining trees on the subject property. Their removal will be mitigated by installing trees of desirable species on the site, as shown on the Figure 4, Landscape Plan. The new trees are suitable for their continued growth and development.

Project Description

The Duarte Garden Specific Plan will allow the development of 17 single family units (13 detached and 4 attached units) on lots ranging from 1,392 square feet to 2,713 square feet of lot area, a 26-foot wide private street system. Figure 3, Tentative Tract Map, illustrates the site layout. Said units will feature 3 bedroom and 3 + bedrooms (includes den). The homes will range in size from 1,638 to 1,925 square feet, including a two (2) car garage.

Consistent with the City's Early California architectural design theme, the project will have the Mediterranean inspirit with curve concrete roof tiles and earth tone color stucco walls. Figures 5a, 5b and 5c, Street Elevations illustrate the street elevations of the proposed project site. The land use section of this document describes the development in greater detail.

FIGURE 1
REGIONAL LOCATION

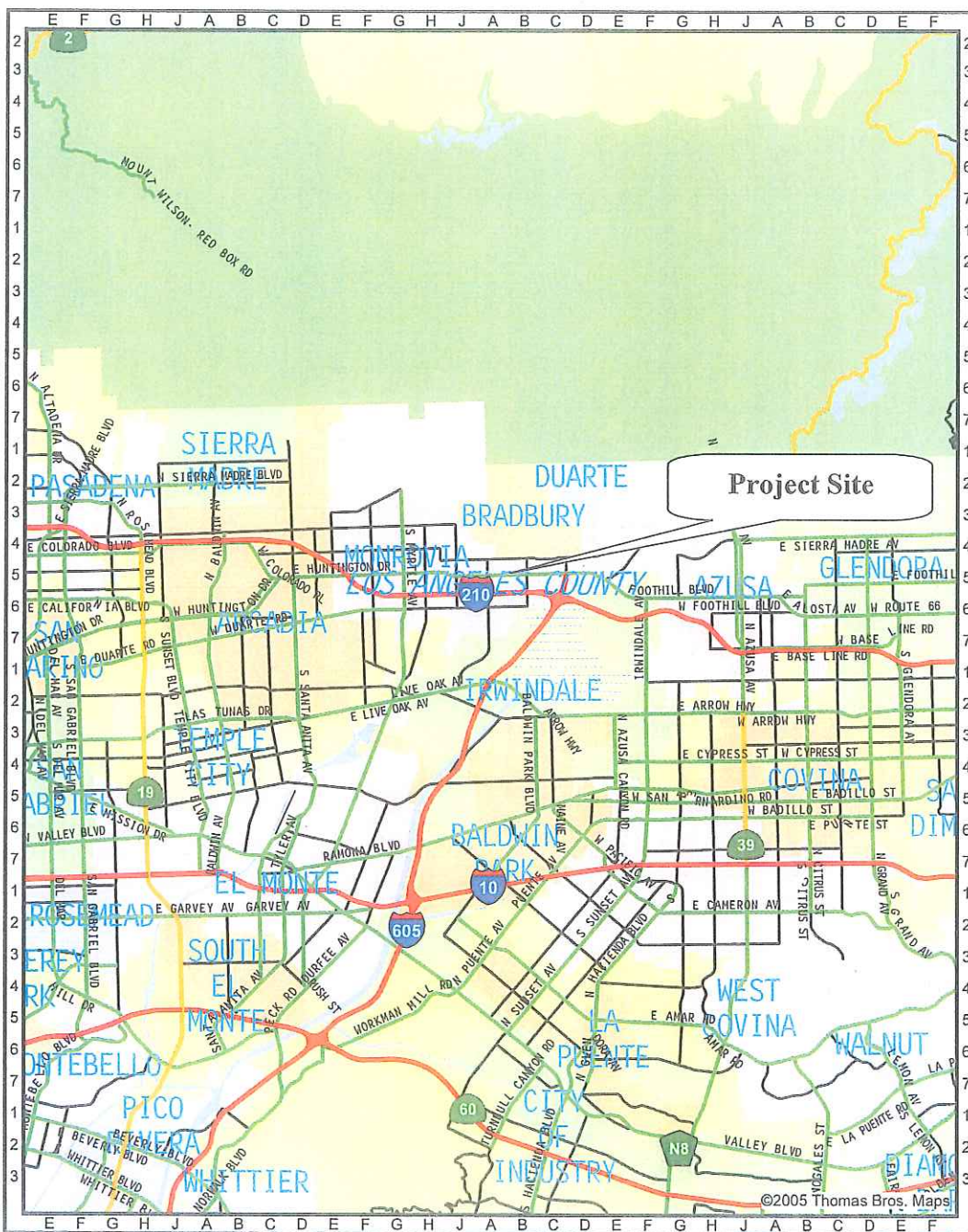
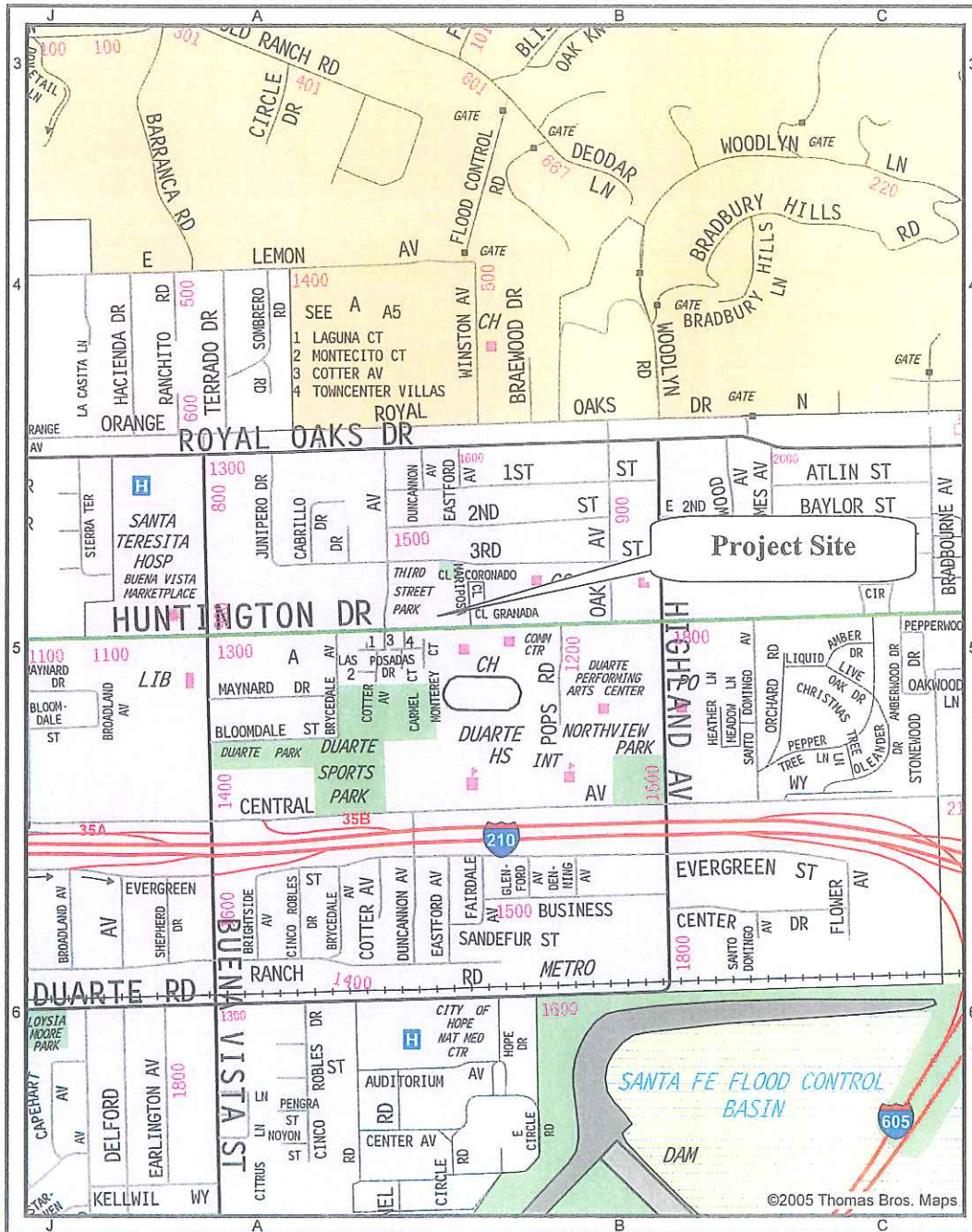


FIGURE 2
LOCAL VICINITY



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SECTION 3: CONFORMANCE

The development of the Specific Plan area is regulated by the City through its General Plan, Zoning Ordinance and Redevelopment Plans. The following discussion reviews the proposed project and determines conformity with the existing plans.

General Plan

The General Plan designates the Specific Plan area as High Density Residential. This category provides for development of up to 28 dwelling units per acre. In this particular case, the overall housing unit density proposed within the Specific Plan is at 10.96 units to the acre. Under the current land use designation the site could be developed with what the site plan proposes.

In accordance with the Noise Element, the development will incorporate construction techniques to reduce noise levels associated with vehicular traffic along Huntington Drive. The development of the Specific Plan area will not adversely affect existing noise levels by increasing these levels.

Zoning

Current zoning for the Specific Plan area consists of the General Commercial Zone, C-2. Under this classification, the site is required to be developed with commercial land uses, no residential land uses area allowed. As a result, prior to any residential development, a zone change must occur. This Specific Plan has been prepared to facilitate the residential development of the site. The Duarte Garden Specific Plan will replace the C-2 zoning and regulations and constitute zoning for the site. All development standards and land use regulations are defined within this document and applicable sections of the Duarte Municipal Code.

Redevelopment Plan

The subject property is located in the Duarte Merged Redevelopment Project. If required, all uses proposed in the project shall be approved by the Redevelopment Agency. As such, a Disposition and Development Agreement has been prepared and must be approved by the Redevelopment Agency prior to the issuance of building permits.

A major objective of the redevelopment plan is to encourage and facilitate the construction of medium density residential development (maximum 14.5 dwelling units per acre). It is intended that new residential development be compatible with adjacent properties and be well-landscaped to enhance the living environment. The proposed development meets and exceeds these objects.

SECTION 4: DEVELOPMENT PLAN

The development plan consists of the following components: land use, circulation, landscaping, and architectural concepts. The following discussion describes these plan components in greater detail.

Land Use

The proposed land use for the project consists of detached and attached single family dwelling units. The project has been designed to be commensurate with similar developments on Huntington Drive. The project will be subdivided into seventeen (17) residential lots ranging in size from 1,392 square feet to 2,713 square feet. The remainder of the site will be developed with a twenty-six foot (26) wide private street system, and common open space areas.

Each of the residential lots will be developed to accommodate both the housing unit, private garages and private open space. Figure 6, Site Plan, detail the layout of the homes and open space. In addition, the site plan incorporates landscaped areas that will be placed in a homeowner's association landscape maintenance district to ensure perpetual maintenance.

Private open space located within residential lot will consist of entry porches, and private side and rear yards. Private open space varies for each lot. However, each lot is with a minimum of provided 180 square feet of private open space. Table 1, Site Analysis identifies a detailed site analysis of the proposed project area.

**TABLE 1
SITE ANALYSIS**

Total Area	
Lot Coverage (Building Footprint)	20,194 (30.06%)
Private Open Space/ Common Courtyard Areas	11,670/17,340
Number of Units	17
Dwelling Unit Density	10.96 units per ace
Parking	
Open Spaces/Guest Parking	9
Covered Spaces/Garage Parking	24

Circulation

The Duarte Garden Specific Plan allows for the development of a twenty-six (26) foot wide private street system with no on-street parking. The circulation system allows vehicular access to each individual lot through a two-car garage with automatic roll-up garage door.

Dispersed throughout the site are nine (9) open parking spaces for visitor parking. The on-site circulation system provides concrete and decorative concrete paving.

On-street parking of recreational vehicles, trailers, and boats will be prohibited. The private street system will be maintained by the Homeowner's Association. The enforcement of the no-parking requirements on the public street will be strictly enforced by both the Sheriffs and Fire Department.

Landscaping

In order to make the site attractive and more livable, the use of a mature and diverse landscape palette will be utilized. Landscaping will be used as a visual and noise buffer along Huntington Drive. Medium scale canopy trees will define the main entry. Trees, annuals, shrubs, turf, and ground cover will be used extensively throughout the development. In addition, water features as depicted in Figure 4, Landscape Plan will be integrated into the design.

The common area landscaping will be irrigated via a reclaimed water system, if available. The irrigation plans will be reviewed and approved by the City. All landscaped areas will be maintained by the Homeowners Association with the exception of the private areas.

Courtyards & Outdoor Amenities

Private yard landscaping will be at the discretion of the individual homeowners. All landscaping visible from common areas will be approved by the Home Owners Association (HOA) as provided for in the CC & R's.

The Specific Plan provides common courtyards and common landscape areas as shown on Figure 4, Landscape Plan. The total public open space provided is approximately 17,340 square feet. The total private open space is 9,480 square feet. A total of 6,820 square feet of the site will be devoted as useable open space. Public open space uses have been provided primarily along Huntington Drive and as a central design theme between homes. The landscape plan depicts the locations of all proposed plan materials.

Architectural Concepts

The Specific Plan area is located within a major arterial street that serves as the major transportation corridor through the City. Given the importance of setting, it is important that the development be of high quality and commensurate with previously approved housing on Huntington Drive. The architectural style should enhance the view from Huntington Drive as well as adjacent properties. With this in mind, the development will utilize the City's Early California architectural design theme. Figures 7 A - H, Elevations and Floor Plans, demonstrates the project utilization of various setback, exterior shapes and elevations to maximize the aesthetic appeal throughout the site and along Huntington Drive.

The Specific Plan provides for a variety of elevations for the project site. A total of 13 different elevations are proposed indicating the various proposed methods of completion of the overall architectural theme. As indicated on each individual elevation four-sided architecture is proposed for the Specific Plan. Additionally, each elevation provides a description of the feature material to be utilized and manufacture/product/finish information.

The Specific Plan area will feature 10 basic layouts and 13 different elevations. Some of the exterior design features include ceramic tile roof, attached two (2) car garages with direct interior access, coordinated exterior and interior color combinations, elegant entries with wood doors and wrought iron.

The proposed 10 basic floor plan layouts feature a kitchen, 2.5 bathrooms, living room, dining room, and 3 to 3+ bedrooms (includes den). Two-car garages with automatic roll-up doors area provided for each home. Table 2, provides a breakdown of the proposed (10) floor plans, including unit size.

Ceramic tile floors in entry, fireplace, central air for heating and cooling, pre-wired cable rooms, major manufacture appliances, walk-in closets, recessed lighting, wood cabinets, and security systems are all features in the homes. The exterior walls will be stucco with an earth tone color palette.

Wall and Fence Plan

A decorative masonry wall or a landscaped wrought iron fence shall be constructed around the entire perimeter of the property, subject to approval of the City. No wall shall exceed a height of six feet (6'), as a measured from the highest grade. Walls shall be constructed of split-face block, slumpstone or stucco-coated precision block. All walls shall employ the use of a decorative wall cap. The use of razor or barbed wire is prohibited. Please see Figure 8, Wall and Fence Plan for greater details.

The developer shall submit a Wall and Fence Plan to the Community Development Department prior to the issuance of building permits. The Wall and Fence Plan will be consistent with the City's Development Standards. Said Wall and Fence Plan shall indicate the construction of new walls where applicable and the type of wall to be developed. All perimeter walls shall be maintained by the Home Owners Association (HOA) and shall be incorporated in the project's CC & R's.

TABLE 2
TEN (10) PROPOSED FLOOR PLAN TYPES

Plan Type	Square footage	Bedrooms	Baths	Total Units
A1	1,720	3 + den	2.5	6
A2 & A3	1,920	3 + den	2.5	3
B	1,852	3	2.5	2
C*	1,703	3	2.5	1
D*	1,803	3	2.5	1
E	1,852	3	2.5	1
F*	1,638	3	2.5	1
G*	1,677	3	2.5	1
H	1,768	3 + den	2.5	1

* attached units

SECTION 5: INFRASTRUCTURE/PUBLIC SERVICES

The project site is located in an area of the City which has a completed infrastructure. The following section discusses this infrastructure and the necessary steps required to tie the project into the system.

Drainage

Existing water runoff is generally in the southerly direction towards the front of the property. A grading plan shall be submitted and approved prior to the development in the Specific Plan. The Specific Plan will conform to the National Pollutant Discharge Elimination System (NPDES). A Storm Water Pollution Control Plan shall be provided to the City prior issuance of any grading permit.

Street System

A new private street system will be constructed that will feature a twenty-six (26) foot wide with no on-street parking. A lighting plan will be submitted to the City Engineer for approval prior to occupancy of any of the homes. Decorative concrete will be located at the entrance of the Specific Plan to enhance the community identity.

Sewage and Solid Waste

The project site is located in Los Angeles County Sanitation District Number Twenty-Two (22). The project will be connected to the public sewer at the time of development. Plans will be submitted to and approved by the Los Angeles County Sanitation District and the City Engineer.

As mandated by the State of California, through AB 939, cities are required to meet state diversion and recycling goals. Therefore, the development proposes the use of individual trash pick-up. The City's waste disposal company promotes and encourages recycling principles by providing green waste & recycling material pick-up. The automated service will be provided to each individual unit using the waste disposal company's system.

Public Transportation

Future residents of the proposed development will have access to existing public transportation alternatives available from major arterial streets such as Huntington Drive, Buena Vista, Highland and with the city town center located across the street.

A variety of transportation opportunities will be available to new residents in the Specific Plan Area. The Foothill Transit District operates a number of bus lines throughout the City. This transportation system allows an individual to utilize other bus lines within the City, as well as to lines that service portions of the County and the surrounding region. All city buses are equipped to handle handicapped persons.

The Green Route buses travel in a counterclockwise direction around the City, and complete the route once each hour. The route's hours of operation are 7:00 a.m. to 7:00 p.m., Monday through Friday. The Blue route buses travel in a clockwise direction around the City, and complete the route once each hour. The route's hours of operation are 7:00 a.m. to 7:00 p.m., Monday through Saturday. Saturday service is provided on the blue route from 8:00am to 6:00pm. The green and blue routes are essentially circular, coming within a few blocks of any point in the City. During the week, the two buses travel in opposite directions, thereby allowing passengers to move either way along the route. Each time a bus finishes its route, it has a short layover at the Target shopping center.

The commuter route travels in a figure-eight pattern through the City. This route (commuter) runs weekdays between 5:30 a.m. and 7:00 a.m. Its purpose is to pick up passengers from residential areas and drop them off at locations where they can transfer to MTA and Foothill Transit lines.

Foothill Transit operates the following routes through the City of Duarte:

494 Is a commuter route, traveling west to Downtown Los Angeles via the I-10 expressway. To the east, the route terminates at the San Dimas Park & Ride. This route operates on weekdays only.

187 This is a local bus route operating seven days a week. The schedule changes on the weekend. This route will take you west to Pasadena and east to the Montclair Trans Center. The frequency of scheduled times during peak times is at intervals of 15 minutes.

184 This is a local bus route operating seven days a week. The schedule changes on the weekends. This route travels west to Arcadia via the Santa Anita Fashion Park and originates in Duarte.

272 This is a local bus route operating seven days a week. The schedule changes on the weekends. This route originates in Duarte and travels southeast to The Plaza at West Covina via the Baldwin Park Metrolink.

Schedules and information for these routes can be obtained from Duarte City Hall or from the Foothill Transit Store located at 1745 E Huntington Drive in Duarte.

Regional transit is also provided by the Los Angeles County Metropolitan Transportation Agency (MTA). MTA operates two routes in Duarte. Both routes originate at the City of Hope in Duarte making a stop at Huntington Drive and Highland Ave. Information for these routes can be obtained by calling the MTA at 1-800-266-6883.

177 This is a local route traveling west to the Glendale Galleria via PCC and JPL. This route operates weekdays only.

188 This is a local route traveling west to Altadena via Santa Anita Fashion Park, PCC and Downtown Pasadena. This route operates seven days a week. Schedule changes on weekends.

The proposed Specific Plan will not require an expansion of the existing transportation services. The proposed Specific Plan will add 17 homes to the community serviced by existing transportation services. This very limited increase in demand for transportation services is anticipated to be met by existing service capacities. Therefore, no expansion in service is needed for the additional 17-homes.

Utilities

Meters and related ground and wall-mounted mechanical, plumbing or electrical equipment installed by the developer shall be inconspicuously located and screened, as approved by the Director of Community Development. All utilities, which service the residential community, shall be placed underground. The Utility Plan shall be approved by the City Development Director. Utilities are provided by the following:

Electricity	Southern California Edison
Gas	Southern California Gas Company
Cable Television	Charter Communications
Telephone	Verizon Telephone
Water	Cal American

SECTION 6: DEVELOPMENT STANDARDS

Purpose and Intent

The following development standards are applicable to all dwellings and structures constructed within the Duarte Garden Specific Plan area. The purpose of these standards is to provide for a residential environment sensitive to the area in which it is intended to be developed.

General Development Standards

1. Each residential structure or dwelling unit shall be located on an individual parcel. There shall be no more than one residential dwelling unit per parcel.
2. Each parcel of land permitted to be developed shall have vehicular access from a private street.
3. The overnight and/or outdoor storage of recreational vehicles, boats, trailers, etc., is prohibited in the Specific Plan area.
4. Accessory structures not attached to the main structure are prohibited.
5. Patio covers, trellis, awnings, or any similar item may be allowed by site development standards.
6. Any development standard not provided for in this Specific Plan shall be in accordance with the Planned United Development (PUD) Zone.
7. All utilities in the Specific Plan shall be placed underground. Meters shall be inconspicuously located and screen. The Utility Plan shall be approved by the City Development Director.
8. Prior to the issuance of building permits a lighting plan shall be approved by the City's Architectural Review Board (ARB). This will include review of all fixtures. All lighting shall be designed to prevent offsite glare.
9. Outdoor street lighting shall be decorative and shall be approved by the City's Architectural Review Board (ARB).
10. It is not presently anticipated that the project will included any roof top mechanical equipment and every effort shall be made to ground mount equipment. However, if in the future such equipment is proposed the developer shall submit a roof equipment screen plan to the Architectural Review Board (ARB) for review and approval prior to the issuance of building permits. Any roof mounted equipment must be located in an equipment well or screened by

parapet walls or city approved screen a minimum twenty-four (24) inches above the top of said equipment pursuant to review by ARB. Roof equipment shall not be visible from any adjoining streets or properties.

11. All common areas identified on the Final Tract Map shall be place in a Home Owners Association (HOA) maintenance area.
12. The developer shall conform to all recommended mitigation set forth by the Arborist Report related to the preservation of trees.

Permitted Uses

1. Attached and Detached single family units subject to the provisions of the development standards of this Specific Plan.
2. Spas, fountains, outdoor recreation facilities or related improvements subject to HOA approval.
3. Guest parking as approved in Final Tract Map.
4. Home Occupancy permits.
5. Signs shall be permitted for the identification of the development only, and subject to approval by the City's Architectural Review Board (ARB). Other types of signs shall be prohibited.

Uses Expressly Prohibited

The following uses are expressly prohibited in the Duarte Garden Specific Plan Area:

1. Other uses not specifically listed under "Permitted Uses" Section.
2. Automotive Repairs.
3. Violations of the established covenants, conditions, and restrictions (CC & R's).

Permitted Temporary Uses

1. Real Estate signs relating to the sale, lease, or other disposition of real property on which the sign is located, are permitted as set forth in the City Municipal Code.
2. **Use of Private Open Space:**
 - a. Picnic umbrellas shall be permitted not in excess of feet (5') in diameter. No picnic umbrellas shall be installed in the front yard, common area and/or public/private streets yard setback areas.

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- b. Temporary tents and canopies of any size may be erected in any location with the exception of the front yard, Common Area, private streets, and private yard setbacks areas on a parcel or lot for a period that is not in excess of three (3) days with the approval of the HOA.

Site Development Standards

1. **Minimum Lot Size:** 1,379 square feet
2. **Maximum Building Height:** Two and one-half (2 ½) stories or 35 feet, whichever is less.

Exceptions: Roof structures (i.e. ventilating fans, chimneys, domestic radios and television masts) may exceed the maximum building height subject to approval by the City's Architectural Review Board (ARB).

3. **Setbacks:** At no point shall new development be allowed to occur which reduces any setback from its original design.
 - a. Southerly Specific Plan Boundary – adjacent to Huntington Drive, thirty (30) feet to ground floor structures; forty (40) feet to second story structures.
 - b. Southerly Specific Plan Boundary – not adjacent to Huntington Drive, twenty (20) feet to ground floor structures; twenty (20) feet to second story structures.
 - c. Westerly Specific Plan Boundary – ten (10) feet to ground floor structures; ten (10) feet to second story structures.
 - d. Easterly Specific Plan Boundary – ten (10) feet to ground floor structures; ten (10) feet to second story structures.
 - e. Northerly Specific Plan Boundary – Twenty (20) feet to ground floor structures; twenty (20) feet to second story structures.
 - f. Interior Property Lines: No development shall exceed that which is shown on the approved Final Tract Map.
4. **Accessory Structures:** Five (5) feet setback to rear property line; minimum separation between structure is six (6) feet.
5. **Building Setback:** Minimum distance between buildings shall be ten (10) feet, except for Unit No. 10 garage for the preservation of the Oak Tree.

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6. **Lot Coverage:** Buildings and structures shall not exceed that which is shown on the approved Final Tract Map.
 7. **Garage Parking:** Each dwelling unit shall have and maintain two enclosed parking spaces. Said spaces shall have garage doors with automatic garage door openers. The minimum garage shall be twenty (20') feet by twenty (20') feet for automobile use only. Mechanical equipment such as washer/dryer, air conditioners, and water heaters are strictly prohibited within garages.
 8. **Guest Parking:** At no time shall less than 9 open spaces be provided on the site for visitor and resident parking.
 9. **Walls:** No wall shall exceed six (6) feet in height from the Specific Plan property grade. All front yard walls shall range in size from four (4) feet to six (6) feet in height. All walls shall be decorative and be approved by the City's Architectural Review Board (ARB).
 10. **Private Yard Area and Use:** Private yards are limited to recreational uses; in addition air conditioning units/trash bins are allowed in the private yard area
 11. **Canopies and Awnings:** The construction of any awning, canopy, or canopy structure, constructed of canvas, cloth, or other fabric or material shall be prohibited in the Specific Plan area except as noted below.
 - a. Decorative canopies and awnings constructed shall be permitted as a component or feature of an overall architectural design on Lots 1,2,3,4,13,15 and 17
 - b. No wall-mounted canopy or awning shall extend beyond 30" from the wall from which it's mounted but may not extend into common areas.
 - c. Awnings, canopy, or canopy structure, constructed of canvas, cloth, or other fabric or material shall be approved by the City's Architectural Review Board (ARB) and Home Owners Association (HOA).
 12. **Patio Cover and Trellis:** The construction of any patio cover or trellis structure shall be prohibited in the Specific Plan area except as noted below.
 - a. Patio covers and/or trellises shall only be permitted in yards located on the north side of the Specific Plan area provided that the following criteria is met:
 1. Unit has a private yard larger than 15' in length
 2. A 10' setback shall be maintained from patio cover and/or trellis to the property line.
 - b. Any patio cover and/or trellis shall be approved by the City's Architectural Review Board (ARB) and Home Owners Association (HOA).

SECTION 7: REQUIRED APPROVALS

The following documents will be prepared for approval by the City of Duarte to ensure that development of the site proceeds in an orderly fashion. These applications shall be approved prior to the issuance of building permits.

Environmental Review

The City will prepare an environmental review of the Specific Plan as required by the California Environmental Quality Act (CEQA) to determine the potential environmental effects. Mitigation measures shall be incorporated as conditions of approval.

Specific Plan/ Change of Zone

The Specific Plan will be reviewed and approved by the City to provide land use, design, and other controls in the project area and to insure conformance with the City's General Plan.

Architectural Review Board (ARB)

The developer of the site shall prepare and record Covenants Conditions and Restrictions (CC & R's) for the site. The CC & R's shall establish an architectural review committee composed of current property owners.

Future Proposals

All future architectural plans shall be approved by the Duarte Garden Architectural Committee and the City's Architectural Review Board (ARB). Plans shall conform to all regulations of the Duarte Garden Specific Plan. The City shall act as Architectural Committee in absence of a Home Owners Association (HOA).

Tentative Tract Map

A Tentative Tract Map shall be prepared and submitted to the City for its review and approval. Said map shall be consistent with this Specific Plan.

Disposition and Development Agreement

Disposition and Development Agreement (DDA) shall be approved by the Redevelopment Agency of the City ensuring the quality of development of the units. The Zone Change and Tentative Tract Map are conditioned based upon approval of the DDA.

Conditions, Covenants and Restrictions

The developer of the site shall prepare and record Conditions, Covenants and Restrictions (CC & R's) for the site. Said CC & R's shall be recorded prior to the issuance of an occupancy permit on the first unit.

Other Regulatory Approvals

The developer shall receive approval of the Tentative Tract Map and Specific Plan prior to the issuance of grading permits from the sanitation district, fire department, police department, and engineering department.

SECTION 8: IMPLEMENTATION

The following section is intended to provisions for major and minor amendments to this Specific Plan once it is adopted and implemented.

Major Changes

Any homeowner may initiate an amendment to the provisions if substantial changes are required. An amendment to the Duarte Gardens Specific Plan shall be in conformance with the California Government Code (Section 65450 through 65457). Revisions to the map shall be in accordance with the California Subdivision Map Act and City's procedures for implementation of the Map Act. Changes requested after completion of the project are subject to Duarte Municipal Code (DMC) 19.90

Minor Changes

Minor revisions or modifications to approved components plans, may be approved by the Architectural Review Board (ARB). Minor revisions and modifications shall be defined as and shall include the following:

1. Parking and circulation configurations which do not change the basic parking areas or circulation concept;
2. Building placements which do not change the general location and layout of the site;
3. Grading alternatives which do not change the basic concept, increase slopes, or change course of drainage which could adversely effect adjacent or surrounding properties; and
4. Architectural or landscape modifications which do not alter the overall design concept or significantly reduce the affect originally intended.

PROJECT DATA

PROJECT ADDRESS:
1605 HUNTINGTON DRIVE
DUARTE, CA 91010
ACCESSOR PARCEL NUMBER:
0530-011-045, 0530-011-046, 0530-011-400
EXISTING ZONING: C
PROPOSED ZONING: 5P
LOT DIMENSIONS SEE SITE PLAN

GROSS LOT AREA:
NET LOT AREA: 67,518 SF (1.55 AC.)
PROPOSED USE: 17 PUD DWELLING UNITS
PROPOSED DENSITY: 10.96 DU/AC

UNIT SUMMARY: 17 PUD DWELLING UNITS
13 DETACHED DWELLING UNITS
4 ATTACHED DWELLING UNITS

BLDG. COVERAGE: 20,244 SF (30.06%)
PROPOSED BUILDING HEIGHT: 2 STORY-32'-0"
NUMBER OF STORIES: TWO
PROPOSED BUILDING SETBACKS: FRONT: 40'-0" & 30'-0"
SIDES: 10'-0"
REAR: 20'-0"

PARKING REQUIRED: 34 GARAGED & 9 GUEST PARKING
PARKING PROVIDED: 34 GARAGED & 9 GUEST PARKING

RESIDENTIAL UNIT AREA FOR TYPE A1 & A1_R: (6 UNITS)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 124 SF
UNIT F.A. 2ND FLOOR - 496 SF
TOTAL UNIT F.A. - 1,120 SF

RESIDENTIAL UNIT AREA FOR TYPE A2 & A3: (3 UNITS)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 111 SF
UNIT F.A. 2ND FLOOR - 1,154 SF
TOTAL UNIT F.A. - 1,425 SF

RESIDENTIAL UNIT AREA FOR TYPE B: (2 UNITS)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 851 SF
UNIT F.A. 2ND FLOOR - 495 SF
TOTAL UNIT F.A. - 1,852 SF

RESIDENTIAL UNIT AREA FOR TYPE C: (1 UNIT)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 713 SF
UNIT F.A. 2ND FLOOR - 490 SF
TOTAL UNIT F.A. - 1,703 SF

RESIDENTIAL UNIT AREA FOR TYPE D: (1 UNIT)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 811 SF
UNIT F.A. 2ND FLOOR - 490 SF
TOTAL UNIT F.A. - 1,803 SF

RESIDENTIAL UNIT AREA FOR TYPE E: (1 UNIT)
GARAGE - 432 SF
UNIT F.A. 1ST FLOOR - 751 SF
UNIT F.A. 2ND FLOOR - 1,045 SF
TOTAL UNIT F.A. - 1,852 SF

RESIDENTIAL UNIT AREA FOR TYPE F: (1 UNIT)
GARAGE - 430 SF
UNIT F.A. 1ST FLOOR - 844 SF
UNIT F.A. 2ND FLOOR - 789 SF
TOTAL UNIT F.A. - 1,638 SF

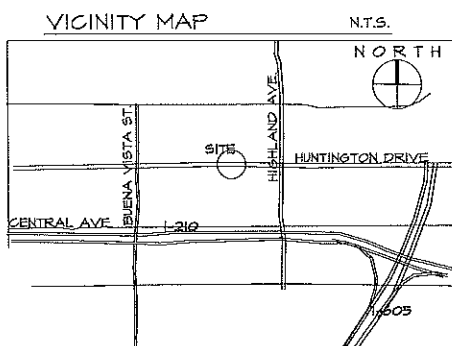
RESIDENTIAL UNIT AREA FOR TYPE G: (1 UNIT)
GARAGE - 451 SF
UNIT F.A. 1ST FLOOR - 654 SF
UNIT F.A. 2ND FLOOR - 1,023 SF
TOTAL UNIT F.A. - 1,675 SF

RESIDENTIAL UNIT AREA FOR TYPE H: (1 UNIT)
GARAGE - 500 SF
UNIT F.A. 1ST FLOOR - 648 SF
UNIT F.A. 2ND FLOOR - 1,070 SF
TOTAL UNIT F.A. - 1,768 SF

TOTAL FLOOR AREA: 30,240 SF
FAR PROPOSED: 0.45

OPEN SPACE SUMMARY & BREAKDOWN SEE A-002

PROVIDED PUBLIC OPEN SPACE: 17,340 SF
REQUIRED PRIVATE OPEN SPACE PER UNITS: 175 SF MIN.
PROVIDED PRIVATE OPEN SPACE PER UNITS: 190 SF MIN.



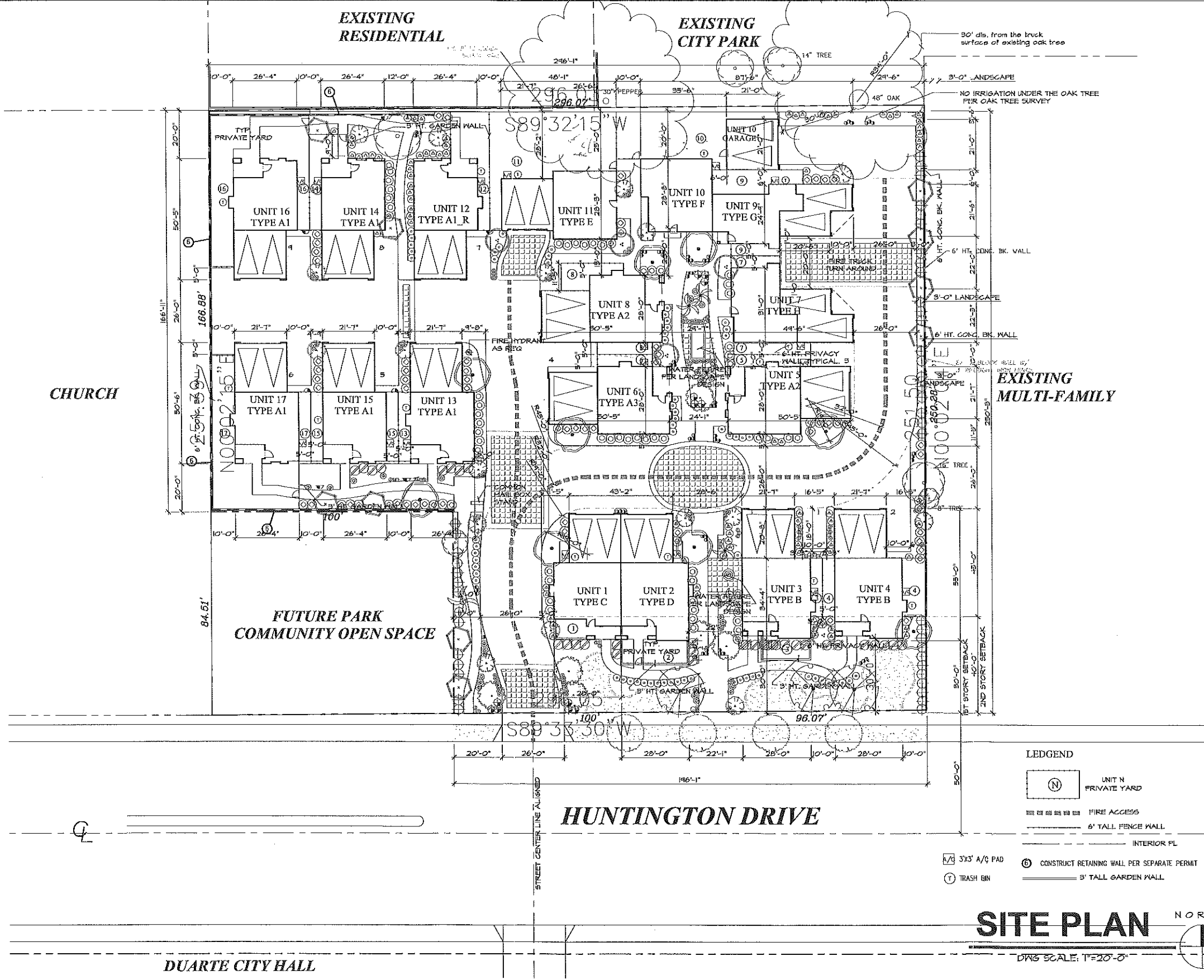
Developer:
NEVIS HOMES
650 HUNTINGTON DRIVE
ARCADIA
TEL: 626-254-0099
FAX: 626-254-0199

Architect:
CDA
17528 E. ROWLAND ST.
INDUSTRY, CA 91748
PHONE: 626-913-8101
FAX: 626-913-8102
CONTACT: Jimmy Lee

DUARTE GARDEN Figure 6 - Site Plan

1615 HUNTINGTON DRIVE, DUARTE, CA

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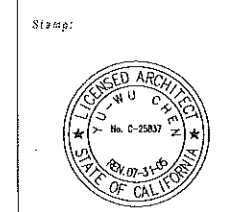


LEDGEND

- (N) UNIT N PRIVATE YARD
- FIRE ACCESS
- 6' TALL FENCE WALL
- INTERIOR PL
- 3x3 A/C PAD
- (C) CONSTRUCT RETAINING WALL PER SEPARATE PERMIT
- (T) TRASH BIN
- 3' TALL GARDEN WALL

SITE PLAN NORTH
DRAWING SCALE: 1"=20'-0"

Project:
Duarte Garden
17 Dwelling Units
Huntington Drive
Duarte, California
Client:
Nevis Homes
650 Huntington Drive
Arcadia, CA
626-254-0199



Drawing Title:
Site Plan/ Project Data
CDA Project No. 0920
Date: October 5, 2004
Phase: Subdivision
Created By: CDA
Drawn By: ACUL
Plan Check No.:
Revisions:

PRINTED DATE: 12/15, 2005
Drawing No.:
A-001

PROJECT DATA

PROJECT ADDRESS:
1605 HUNTINGTON DRIVE
DUARTE, CA 91010
ACCESSOR PARCEL NUMBER:
8530-017-045, 8530-017-046, 8530-017-400
EXISTING ZONING: C
PROPOSED ZONING: PUD
LOT DIMENSIONS: SEE SITE PLAN
GROSS LOT AREA:
NET LOT AREA: 67,518 SF (1.55 AC)
PROPOSED USE: 17 PUD DWELLING UNITS
PROPOSED DENSITY: 10.96 DU/AC

OPEN SPACE SUMMARY

PROPOSED PRIVATE OPEN SPACE:

- UNIT 1: 190 SF
- UNIT 2: 360 SF
- UNIT 3: 380 SF
- UNIT 4: 320 SF
- UNIT 5: 230 SF
- UNIT 6: 190 SF
- UNIT 7: 260 SF
- UNIT 8: 280 SF
- UNIT 9: 460 SF
- UNIT 10: 950 SF
- UNIT 11: 1530 SF
- UNIT 12: 540 SF
- UNIT 13: 230 SF
- UNIT 14: 390 SF
- UNIT 15: 380 SF
- UNIT 16: 1,410 SF
- UNIT 17: 1,380 SF

TOTAL PRIVATE OPEN SPACE: 9,480 SF

REQUIRED PRIVATE OPEN SPACE PER UNITS: 175 SF MIN.
PROPOSED PRIVATE OPEN SPACE PER UNITS: 190 SF MIN.

PROPOSED PUBLIC OPEN SPACE:

- OPEN SPACE A: 6,700 SF
- OPEN SPACE B: 3,150 SF
- OPEN SPACE C: 5,450 SF
- OPEN SPACE D: 125 SF
- OPEN SPACE E: 125 SF
- OPEN SPACE F: 150 SF
- OPEN SPACE H: 320 SF
- OPEN SPACE J: 640 SF
- OPEN SPACE K: 180 SF

TOTAL PUBLIC OPEN SPACE: 17,340 SF

PROPOSED USABLE OPEN SPACE: PRIVATE-PUBLIC: 26,820 SF
84.7% TO TOTAL LOT AREA

Developer:
NEVIS HOMES
650 HUNTINGTON DRIVE
ARCADIA
TEL: 626-254-0099
FAX: 626-254-0199

Architect:
CDA
17528 E.ROWLAND ST.
INDUSTRY, CA 91748
PHONE: 626-913-8101
FAX: 626-913-8102
CONTACT: Jimmy Lee

DUARTE GARDEN Figure 3 -

1615 HUNTINGTON DRIVE, DUARTE, CA

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City of Industry, CA 91748
O: 626.913.8101
F: 626.913.8102

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Project:
Duarte Garden
17 Dwelling Units

Huntington Drive
Duarte, California

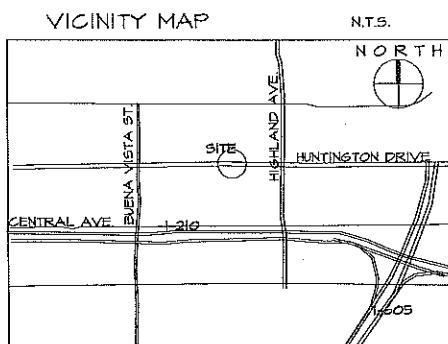
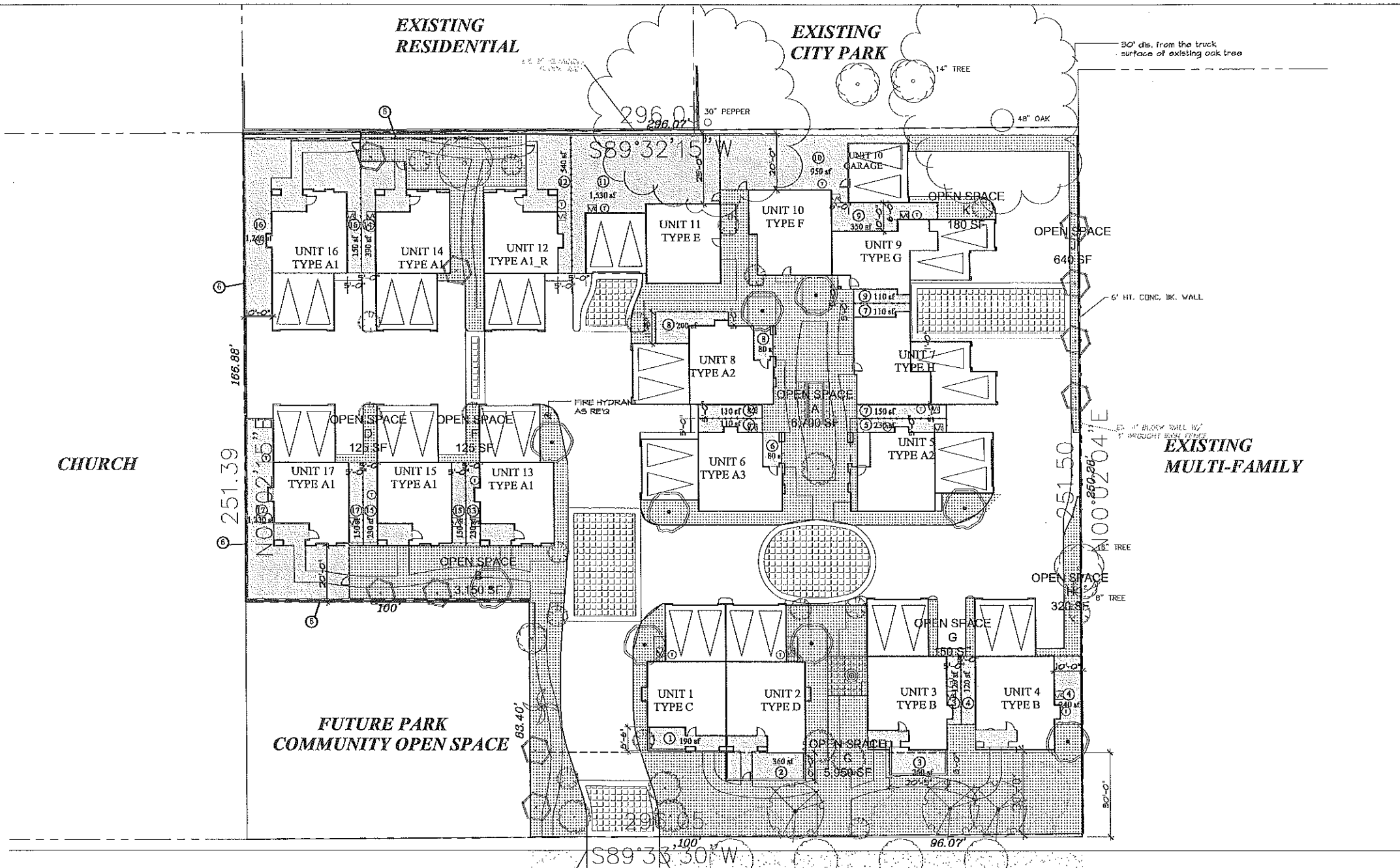
Client:
Nevis Homes
650 Huntington Drive
Arcadia, CA
626.254.0199

Stamp:



Drawing Title:
**Site Plan/
Open Space
Summary**

CDA Project No. 0428
Date: October 6, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: ACUL
Plan Check No.:
Revisions:

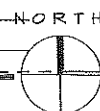


LEDGEND

- UNIT N PRIVATE YARD
- 6' TALL FENCE WALL
- INTERIOR PL.
- 3'x3' A/C PAD
- CONSTRUCT RETAINING WALL PER SEPARATE PERMIT
- TRASH BIN
- 9' TALL GARDEN WALL
- PUBLIC OPEN SPACE

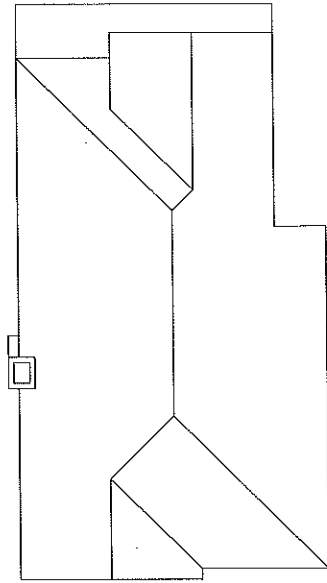
SITE PLAN

DWG SCALE: 1"=20'-0"

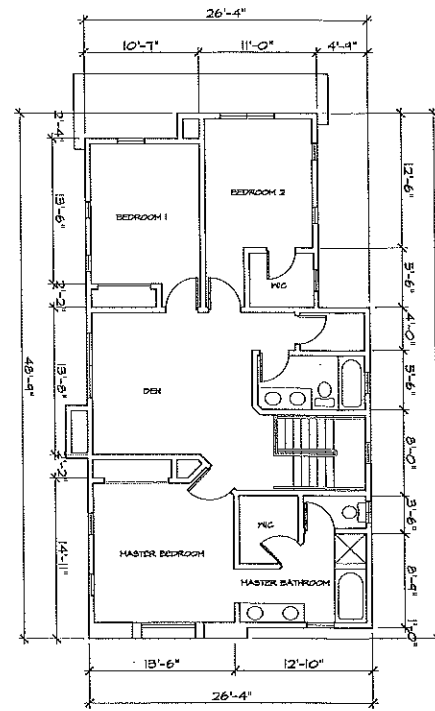


12/08/2005
Drawing No.:
A-002

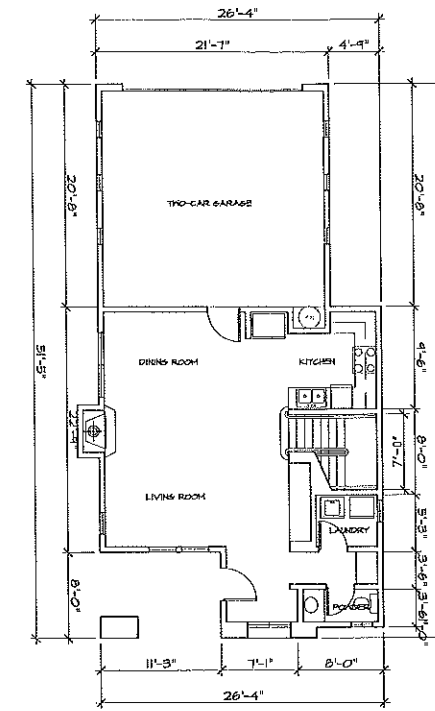
Figure 7A - Elevations



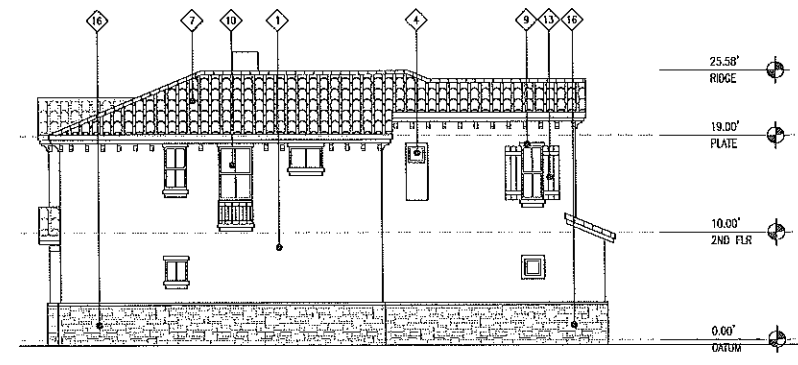
3 ROOF PLAN
SCALE: 1/8" = 1'-0"



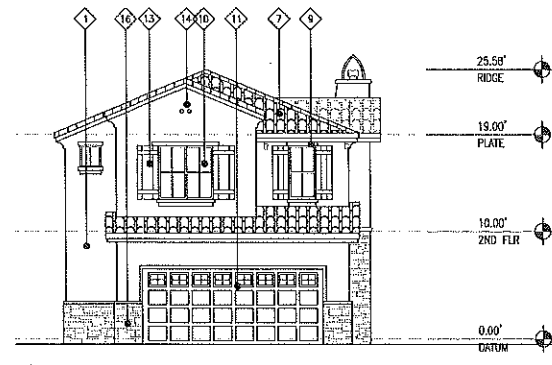
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



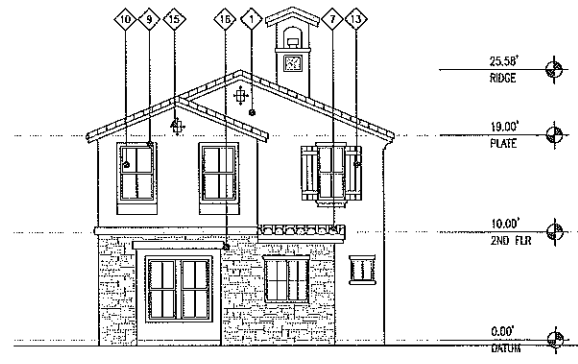
5 LEFT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0"



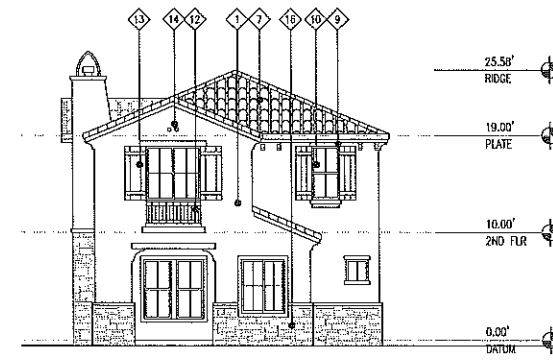
4 REAR ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0"



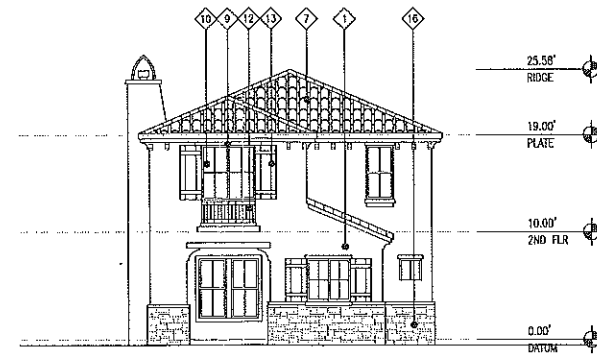
7 RIGHT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0" (UNIT 17, 16(SIM))



6.1 FRONT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0" (UNIT 14 & 15)



6 FRONT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0" (UNIT 16 & 17)



6.2 FRONT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0" (UNIT 12 & 13)

MATERIAL LEGEND		
DESCRIPTION	MATERIAL	MFR / PRODUCT / FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS SMOOTH BRUSH DC 150
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS BARKER BRUSH DC 150
FIXED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
PATIO DOOR (SLIDING)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	EAGLE - 5645 SURFACE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 150
GLAZING	CLEAR GLASS	SEE TITLE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFL COMPOSITE ASSEMBLY	SELECTED BY G.C.
CANTRAIL	WROUGHT IRON	PAINT: BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
PP MESH	CLAY	
ORNAMENTAL METAL RAIL	WROUGHT IRON	
STONE VENEER	CALABRESE STONE VENEER	

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Project:
**Duarte Garden
17 Dwelling Units**
Huntington Drive
Duarte, California
Client:
Nevis Homes
650 Huntington Drive
Arcadia, CA
626.254.0199

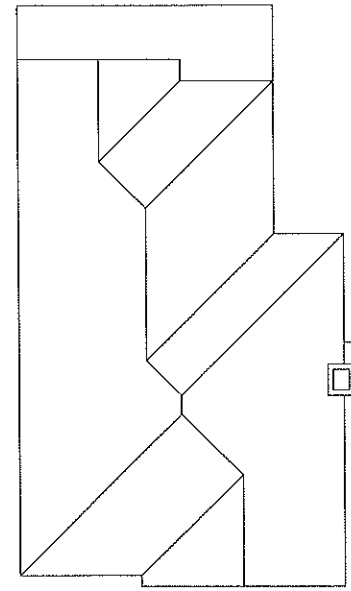
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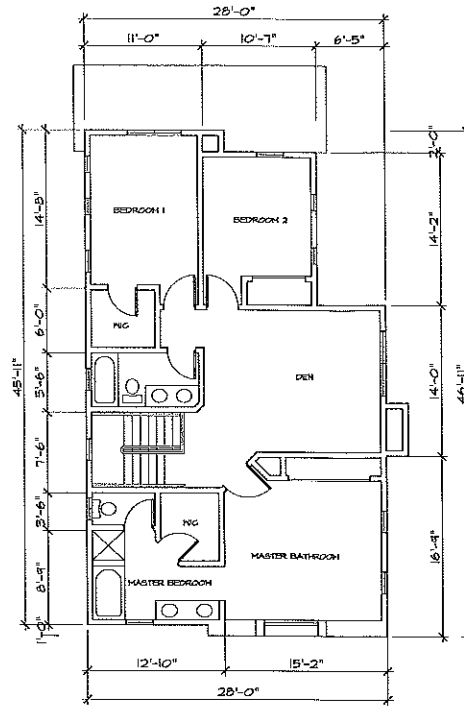
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**TYPE A1 & A1_R
Floor Plans/
Elevations**
(UNIT 12; 13; 14; 15; 16 & 17)
CDA Project No. 0459
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: ACJL
Plan Check No:
Revisions:

Drawing No.:
A-101

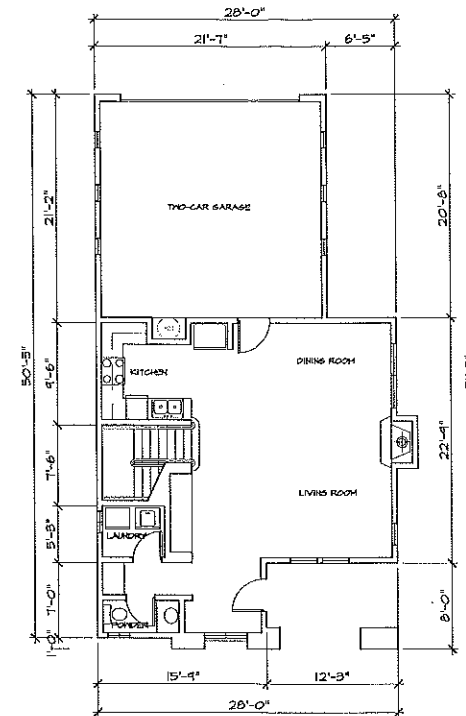
Figure 7B - Elevations



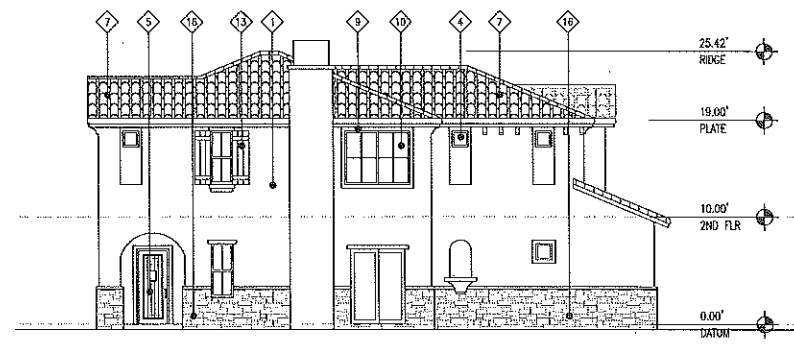
3 ROOF PLAN
SCALE: 1/8" = 1'-0"



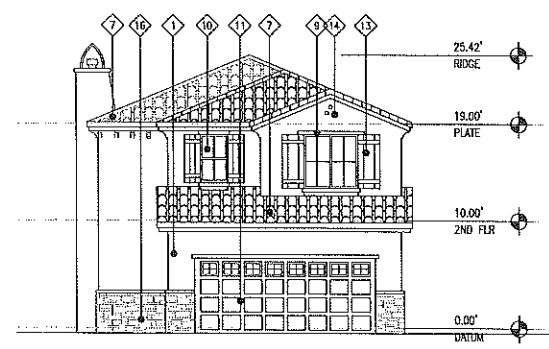
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



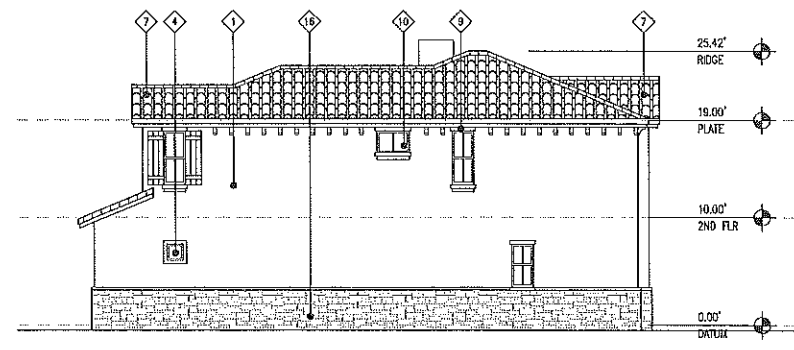
1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



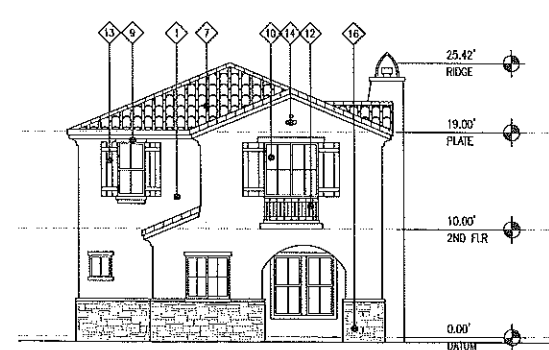
5 LEFT ELEVATION -
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION -
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION -
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

DESCRIPTION	MATERIAL	MFR/ PRODUCT/ FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - DUNN EDWARDS SWISS SHADE DE 163
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - DUNN EDWARDS UNDER BRUSH DE 136
FIXED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAMAC ACCENT 616 OR
PATIO DOOR (GLASS)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	COLOR: MATCH - 5645 SERRAVALLO BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - DUNN EDWARDS UNDER BRUSH DE 136
GLAZING	CLEAR GLASS	-SEE TITLE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFR. COMPOSITE ASSEMBLY	SELECTED BY G.C.
GARISAL	WROUGHT IRON	PAINT BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
PIP VENT	CLAY	
ENVIRONMENTAL METAL RILL	WROUGHT IRON	
STONE VENEER	CALIFORNIA STONE VENEER	

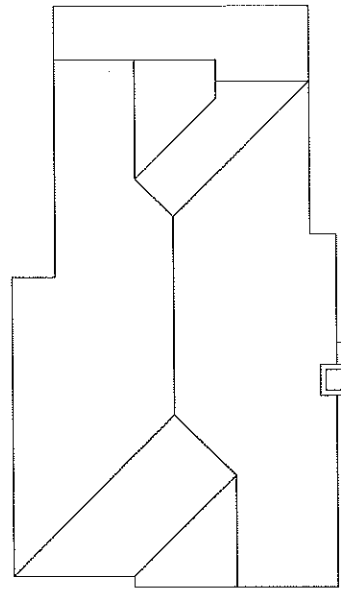
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City of Industry, CA 91748
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F: 626.913.8101
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Planning
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Project:
**Duarte Garden
17 Dwelling Units**
Hastington Drive
Duarte, California
Client:
Nevis Homes
659 Huntington Drive
Azusa, CA
626.254.0159

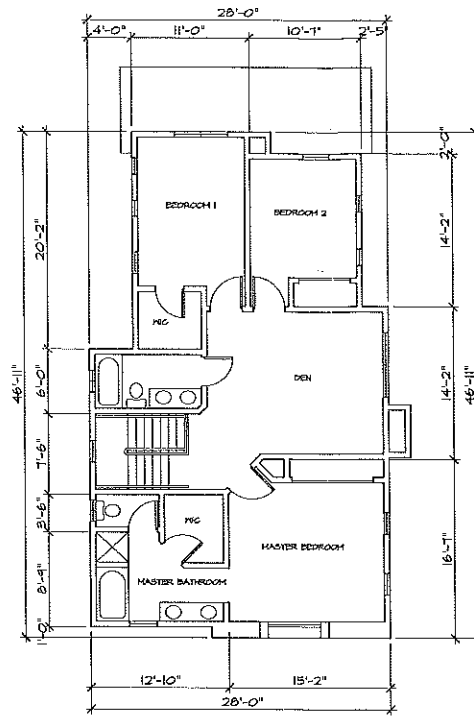


Drawing Title:
**TYPE A2
Floor Plans/
Elevations
(UNIT 5 & 6)**
CDA Project No. 0420
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: AC/JL
Plan Check No.:
Revisions:

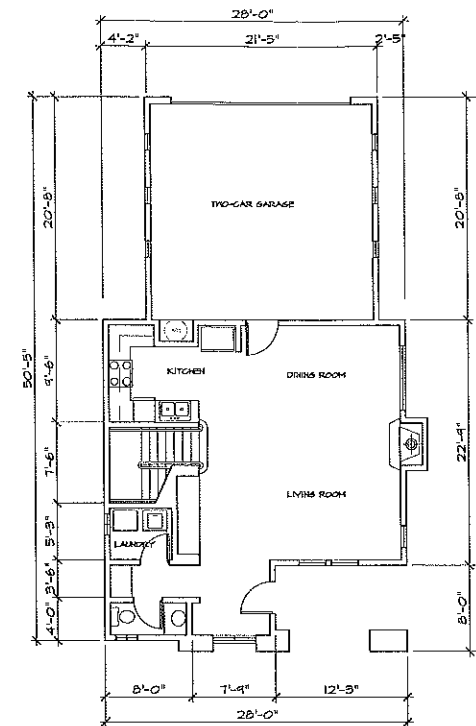
Figure 7C - Elevations



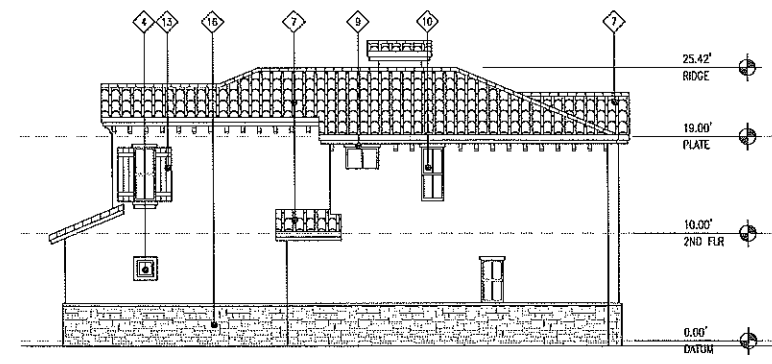
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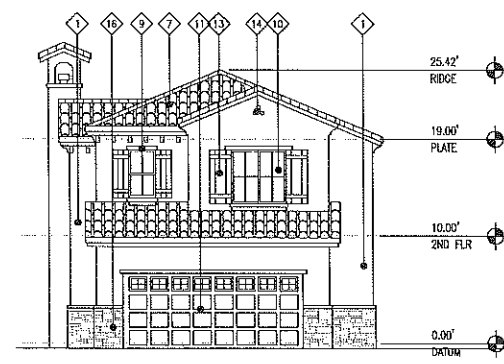
2 SECOND FLOOR PLAN
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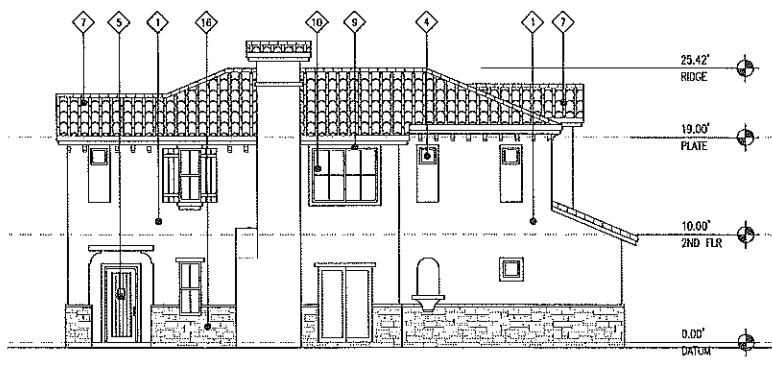
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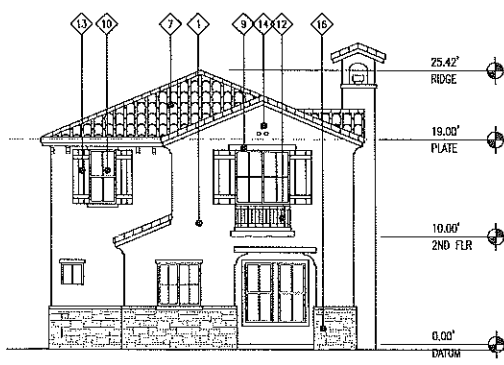
5 LEFT ELEVATION -
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION -
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION -
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION -
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

DESCRIPTION	MATERIAL	MFR / PRODUCT / FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - ORSN EDWARDS SINCS WHITE DE 133
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - ORSN EDWARDS UNDER BRUSH DE 138
WIND WINDOW	CLEAR GLASS	SEE TILE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAMC ACCENT COLOR
PATIO DOOR (SLIDING)	CLEAR GLASS	SEE TILE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	EAGLE - 1645 SERRISE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - ORSN EDWARDS UNDER BRUSH DE 138
GLAZING	CLEAR GLASS	SEE TILE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFR COMPOSITE ASSEMBLY	SELECTED BY G.C.
GARIBALDI	WROUGHT IRON	PAINT BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
PP VENT	CLAY	
ORNAMENTAL METAL FILL	WROUGHT IRON	
STONE VENER	CLAUDE STONE VENER	

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City of Industry, CA 91748
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F-626.913.8101
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Project:
Duarte Garden
17 Dwelling Units
Hamilton Drive
Duarte, California
Client:
Nevis Homes
659 Hamilton Drive
Arcadia, CA
626.254.0199

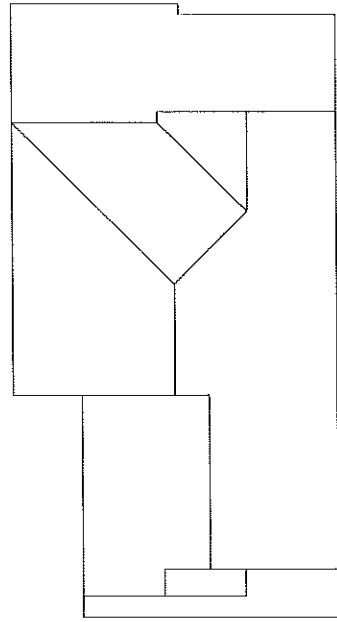
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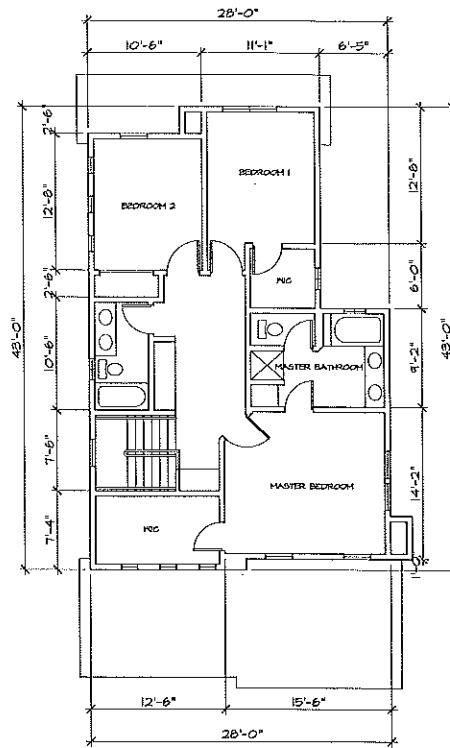
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TYPE A3
Floor Plans/
Elevations
(UNIT 6)
CDA Project No. 0420
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: ACJL
Plan Check No.:
Revisions:

Drawing No.:
A-103

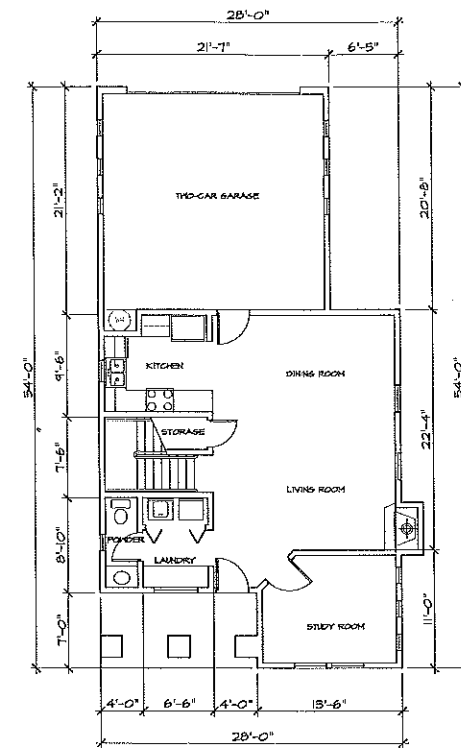
Figure 7D - Elevations



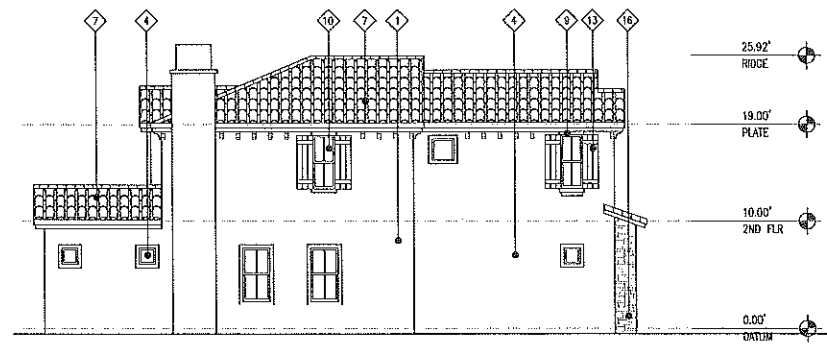
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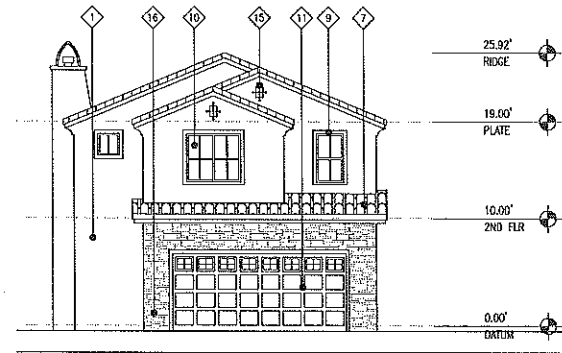
2 SECOND FLOOR PLAN
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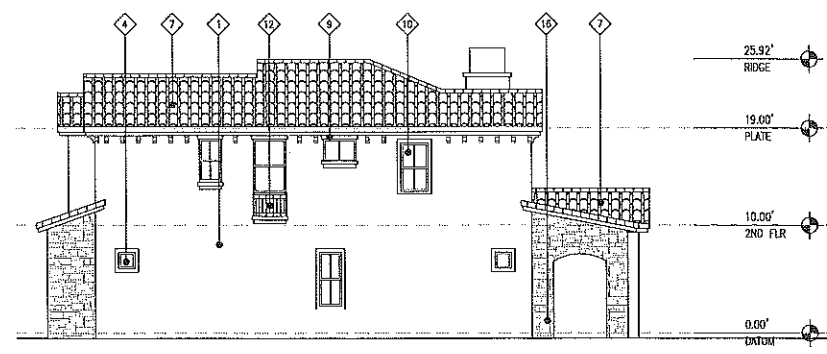
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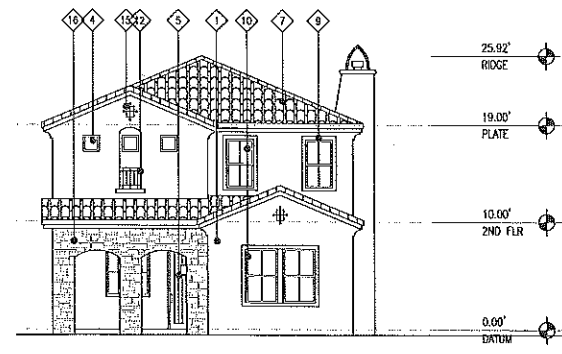
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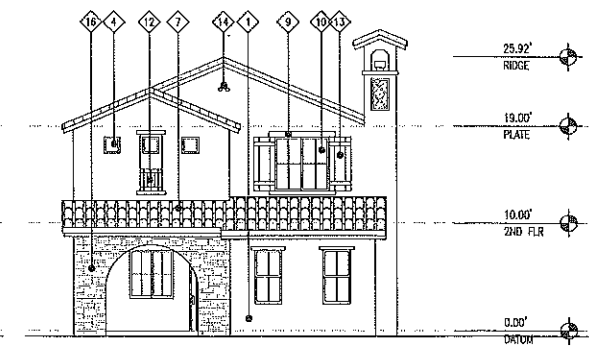
4 REAR ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION - ALTERNATE
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - UNIT 3
SCALE: 1/8" = 1'-0"



6.1 FRONT ELEVATION - UNIT 4
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
DESCRIPTION	MATERIAL	MFR/ PRODUCT/ FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS MARKER BRUSH DC 130
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS MARKER BRUSH DC 130
FIXED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
PATIO DOOR (SLIDING)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	EAGLE - SEAS SURFSE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - BURN EDWARDS MARKER BRUSH DC 130
GLAZING	CLEAR GLASS	SEE TITLE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFR. COMPOSITE ASSEMBLY	SELECTED BY G.C.
CHORDAL	WROUGHT IRON	PAINT: BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
PIP VENT	CLAY	
ORNAMENTAL METAL RAIL	WROUGHT IRON	
STONE VENEER	CULTURED STONE VENEER	

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Project:
**Duarte Garden
17 Dwelling Units**

Hamilton Drive
Duarte, California

Client:
Nevis Homes
659 Hamilton Drive
Arcadia, CA
626.24.0199

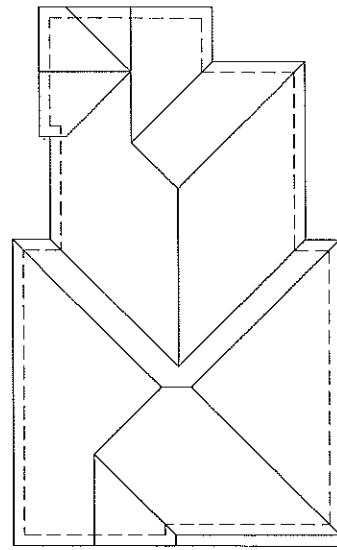
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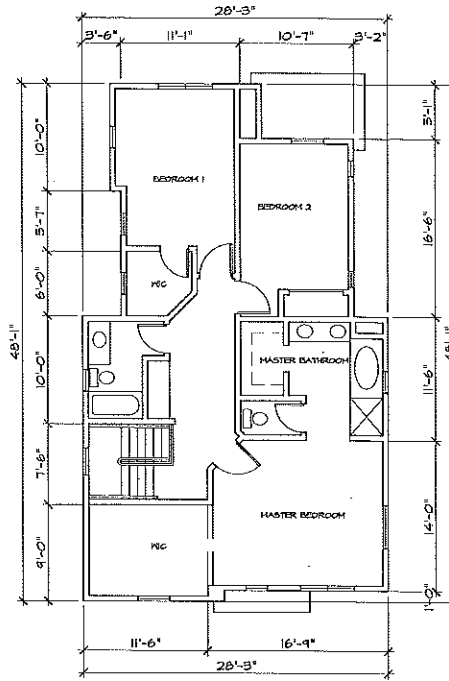
Drawing Title:
**TYPE B
Floor Plans/
Elevations
(UNIT 3 & 4)**
CDA Project No. 0429
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: ACJUL
Plan Check No.:
Revisions:

Drawing No.:
A-104

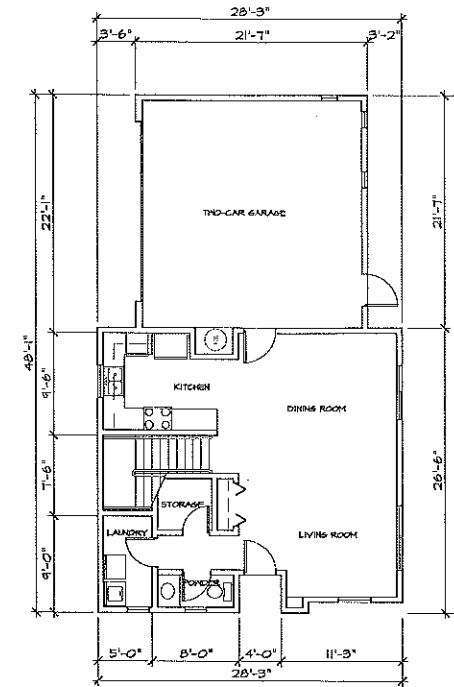
Figure 7E - Elevations



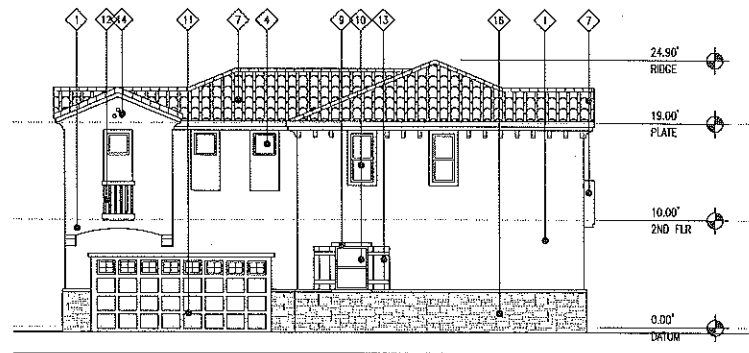
3 ROOF PLAN
SCALE: 1/8" = 1'-0"



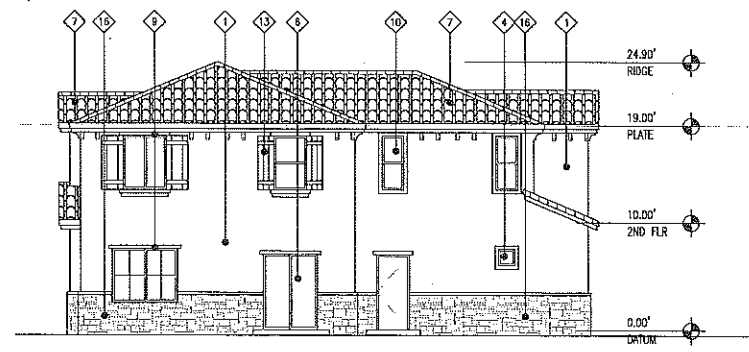
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



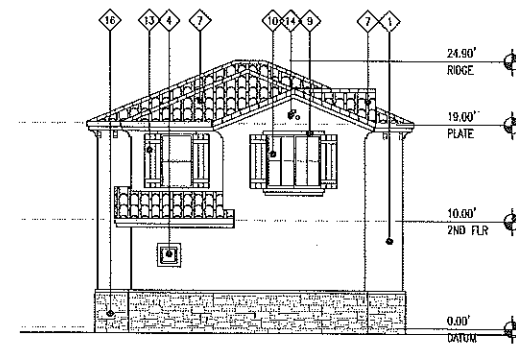
1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



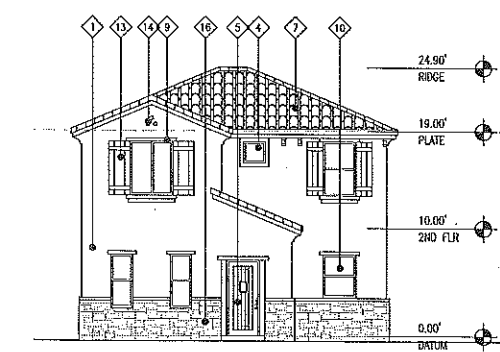
5 LIFT ELEVATION -
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION -
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION -
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION -
SCALE: 1/8" = 1'-0"

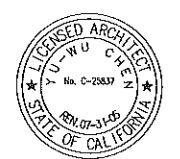
MATERIAL LEGEND

DESCRIPTION	MATERIAL	MFR / PRODUCT / FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS SWISS WHITE DC 183
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 135
FIXED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
PAVED DOOR (SLIDING)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	EAGLE - 5645 SURFIDE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 135
GLAZING	CLEAR GLASS	-SEE TITLE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFR. COMPOSITE ASSEMBLY	SELECTED BY G.C.
GARISOL	WROUGHT IRON	PAINT BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
TRIMMENT	CLAY	
ORNAMENTAL METAL RAIL	WROUGHT IRON	
STONE VENEER	CULTURE STONE VENEER	

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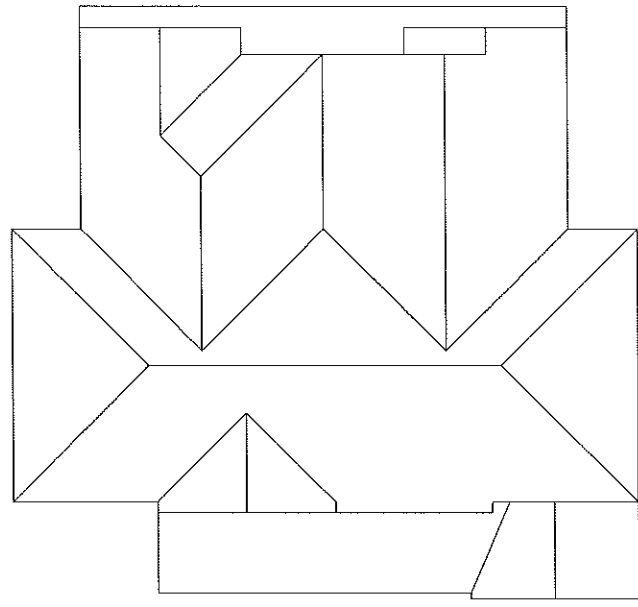
Project:
Duarte Garden
17 Dwelling Units
Huntington Drive
Duarte, California
Client:
Nevis Homes
650 Huntington Drive
Arcadia, CA
626.254.0159

Stamp:

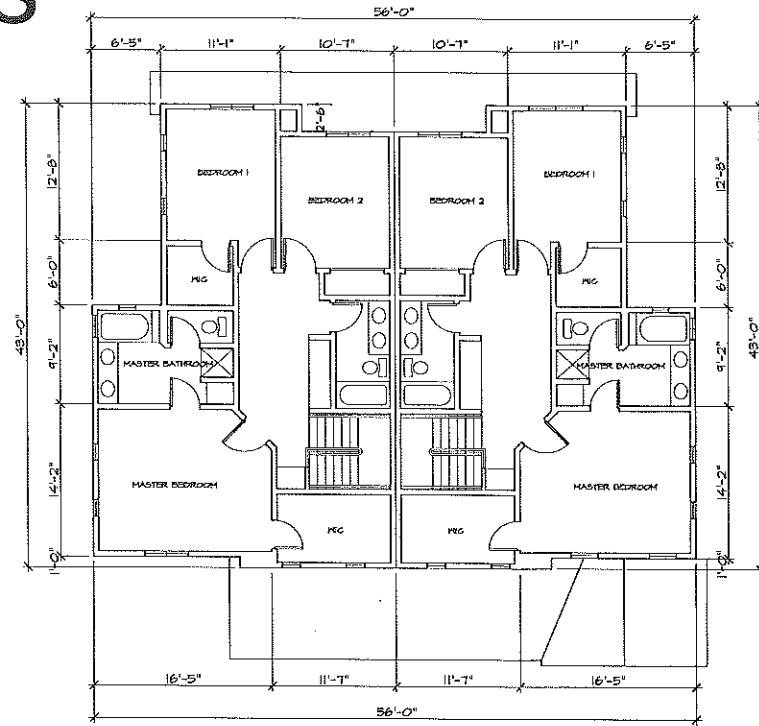


Drawing Title:
TYPE E
Floor Plans/
Elevations
(UNIT 11)
CDA Project No. 0420
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: ACJL
Plan Check No.:
Revisions:

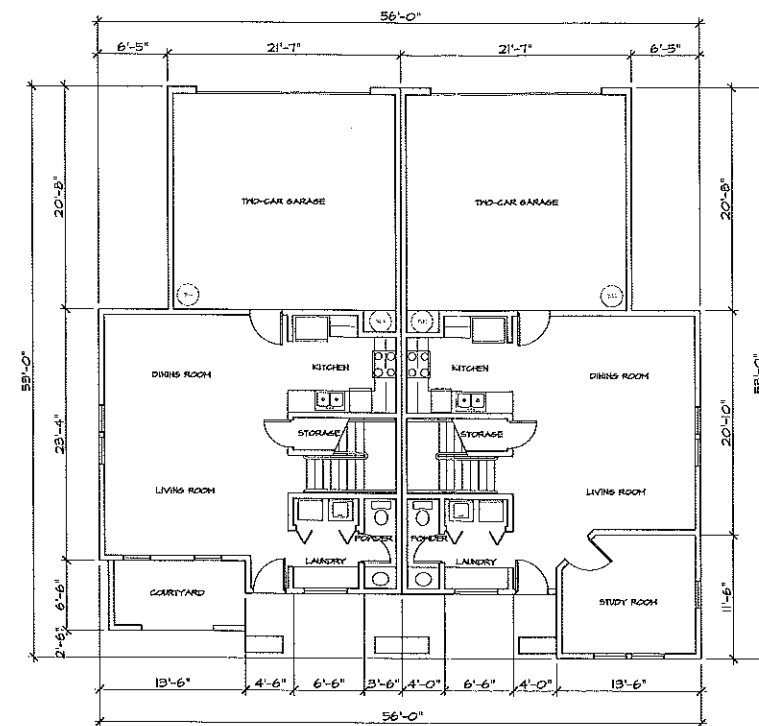
Figure 7F - Elevations



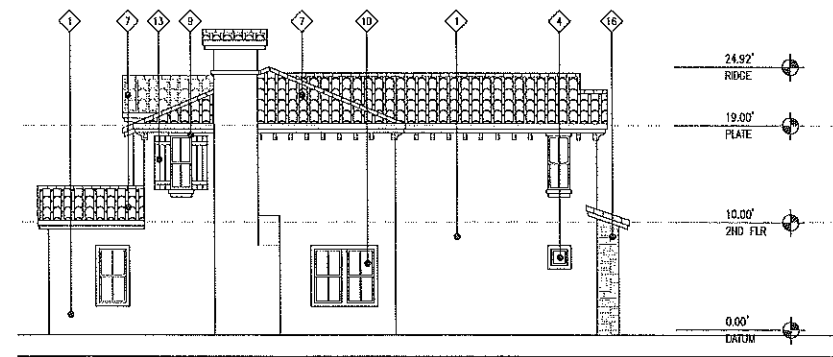
3 ROOF PLAN
SCALE: 1/8" = 1'-0"



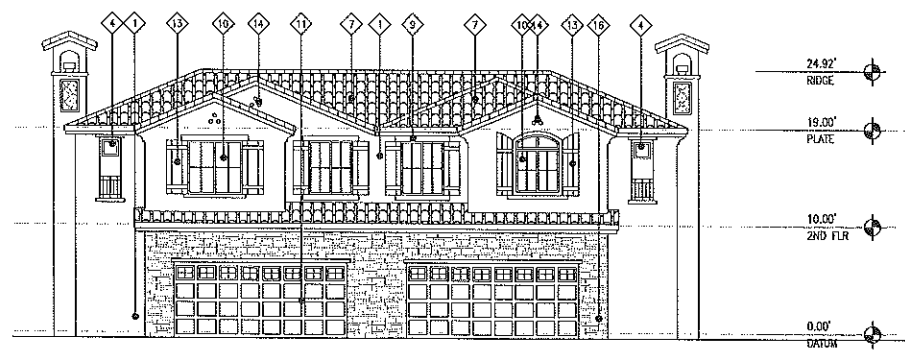
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



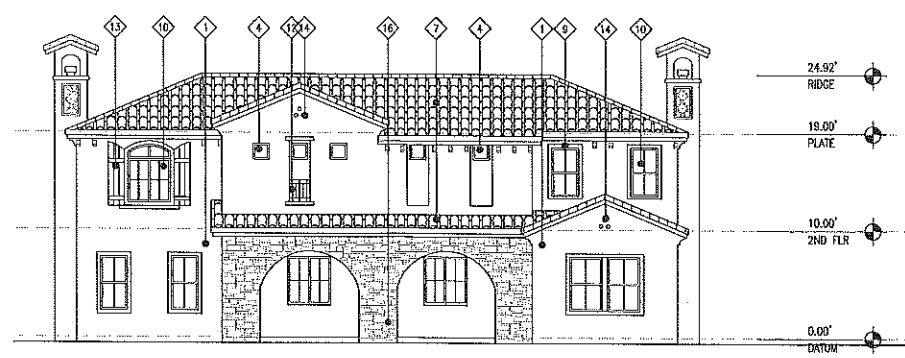
5 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
DESCRIPTION	MATERIAL	MFR/ PRODUCT/ FINISH
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 136
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 136
FIXED WINDOW	CLEAR GLASS	SEE TILE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
PATIO DOOR (SLIDING)	CLEAR GLASS	SEE TILE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	COLOR - 5645 SUNSHINE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - BURN EDWARDS UNDER BRUSH DC 136
GLAZING	CLEAR GLASS	-SEE TILE 24 REQUIREMENTS
GARAGE ROLL UP DOOR	MFR. COMPOSITE ASSEMBLY	SELECTED BY S.C.
CASING	WROUGHT IRON	PAINTE BLACK
WOOD SHAKER	WOOD	COLOR: MATCH
PIP VENT	CLAY	
ORNDORFF METAL RAIL	WROUGHT IRON	
STONE VENER	CULTURE STONE VENER	

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Project:
Duarte Garden
17 Dwelling Units

Huntington Drive
Duarte, California

Client:
Nevis Homes
650 Huntington Drive
Azusa, CA
626.254.0199

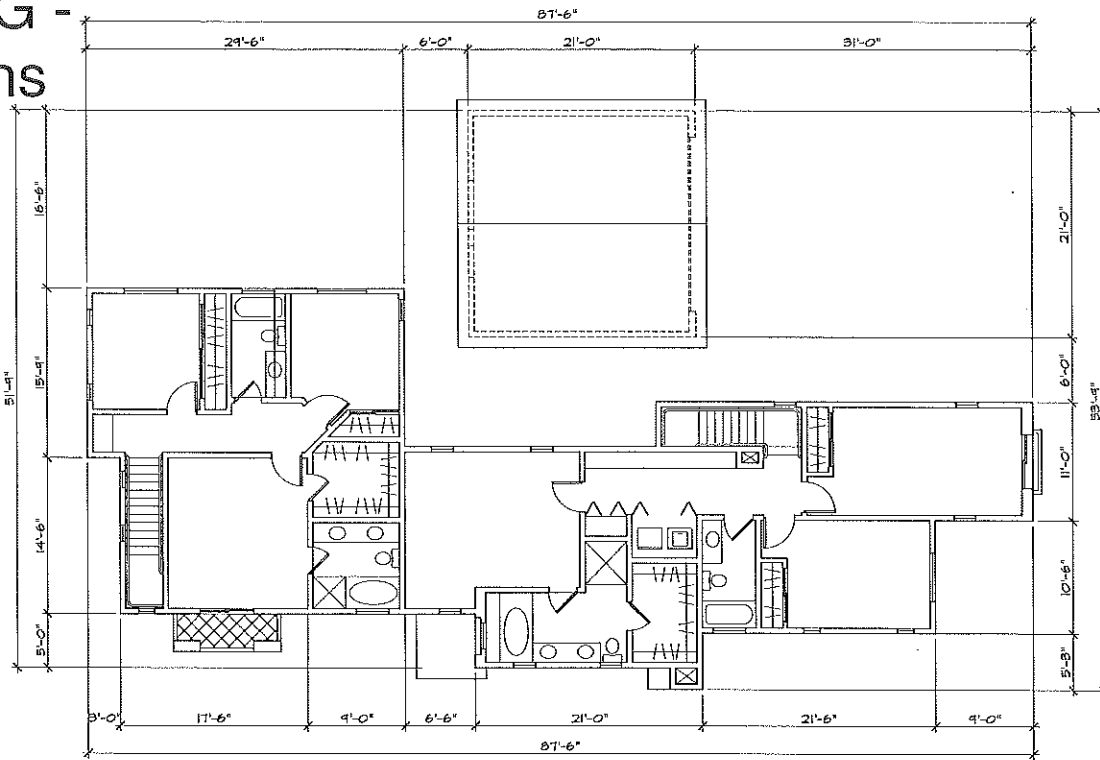
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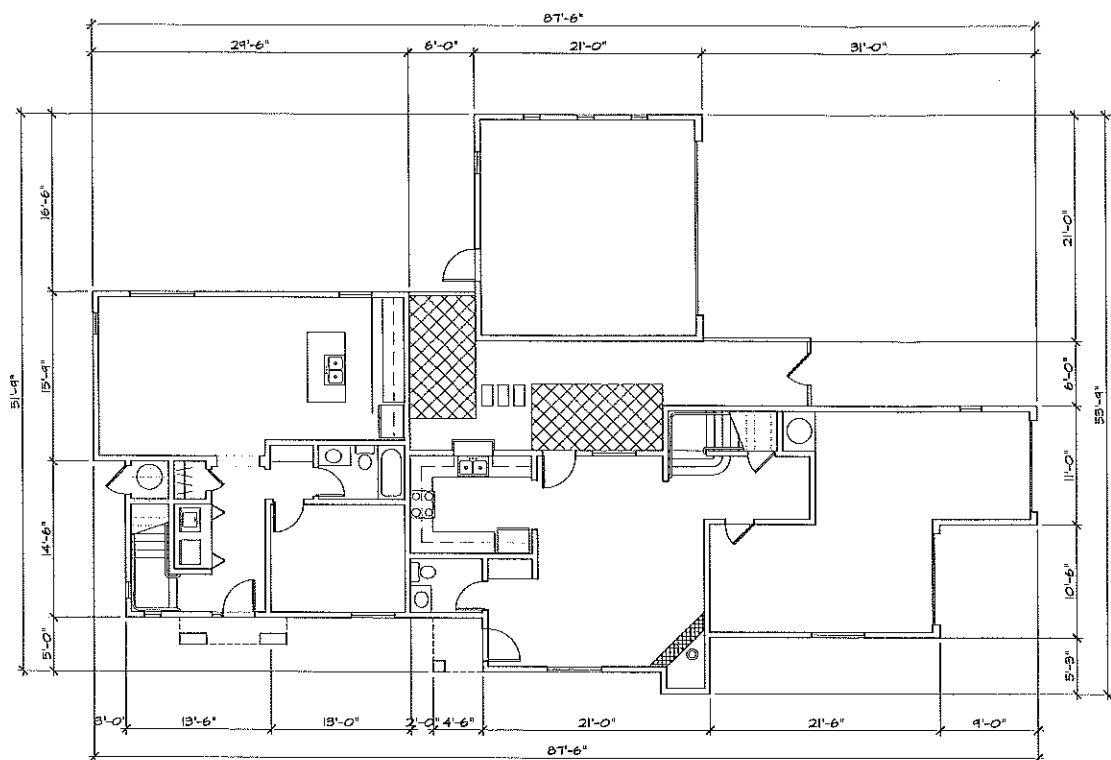
Drawing Title:
TYPE C & D
Floor Plans/
Elevations
(UNIT 1 & 2)
CDA Project No. 0420
Date: October 5, 2004
Phase: Submittal
Checked By: CDA
Drawn By: AC/JL
Plan Check No.:
Revisions:

Drawing No.:
A-106

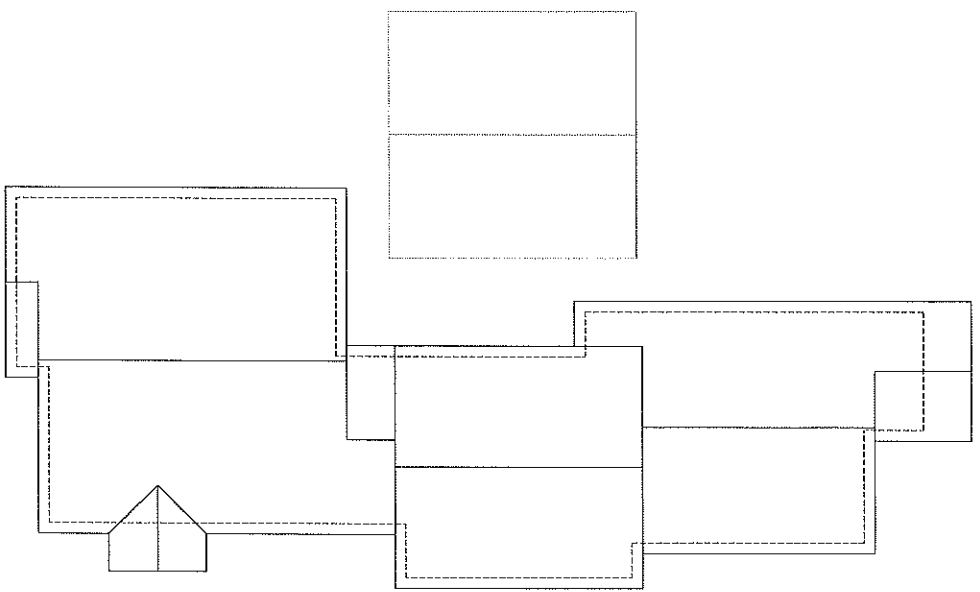
Figure 7G - Elevations



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

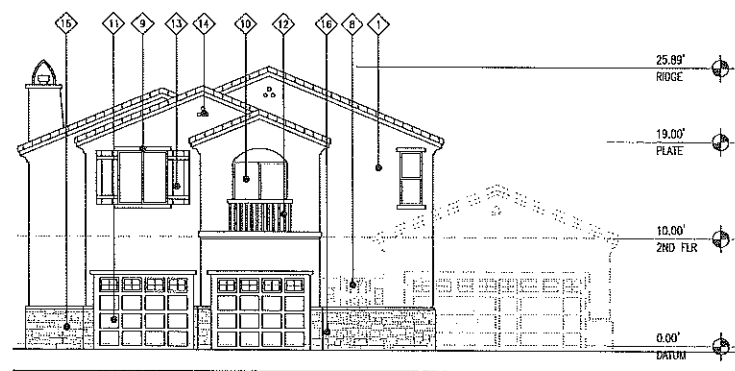


1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

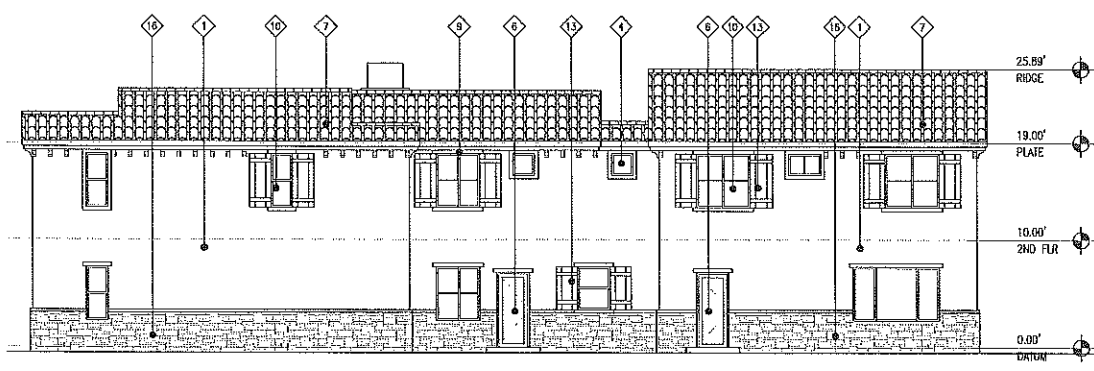


3 ROOF PLAN
SCALE: 1/8" = 1'-0"

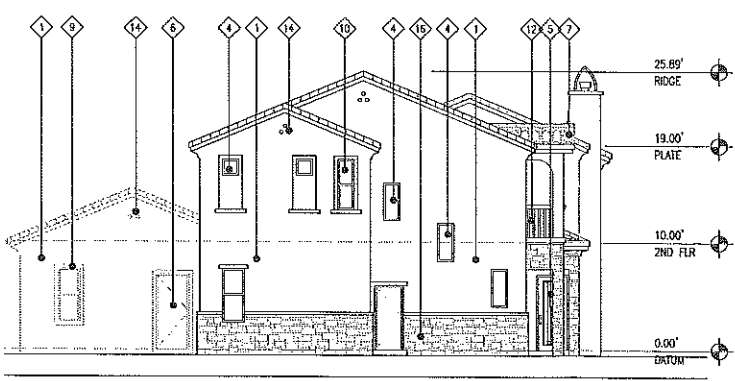
MATERIAL LEGEND		
DESCRIPTION	MATERIAL	MFR/ PRODUCT/ FINISH
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EXTERIOR WALL	EXTERIOR CEMENT PLASTER	2005 WHITE BK 103
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - DAWN EDWARDS
EXTERIOR WALL	EXTERIOR CEMENT PLASTER	UNDER BRUSH BK 136
FIXED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
PATIO DOOR (SLIDING)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
TILE ROOF	CERAMIC TILE	EAGLE - 5645 SUNRISE BLEND
WROUGHT IRON GATE		
WINDOW TRIM	WOOD	COLOR: MATCH - DAWN EDWARDS
GLAZING	CLEAR GLASS	UNION BRUSH BK 136
GARAGE ROLL UP DOOR	MFR. COMPOSITE ASSEMBLY	SELECTED BY O.C.
GABRIEL	WROUGHT IRON	PAINT BLACK
WINDOW SHUTTER	WOOD	COLOR: MATCH
PIP VENT	CLAY	
ORNAMENTAL METAL RAIL	WROUGHT IRON	
STONE VENEER	CULTURE STONE VENEER	



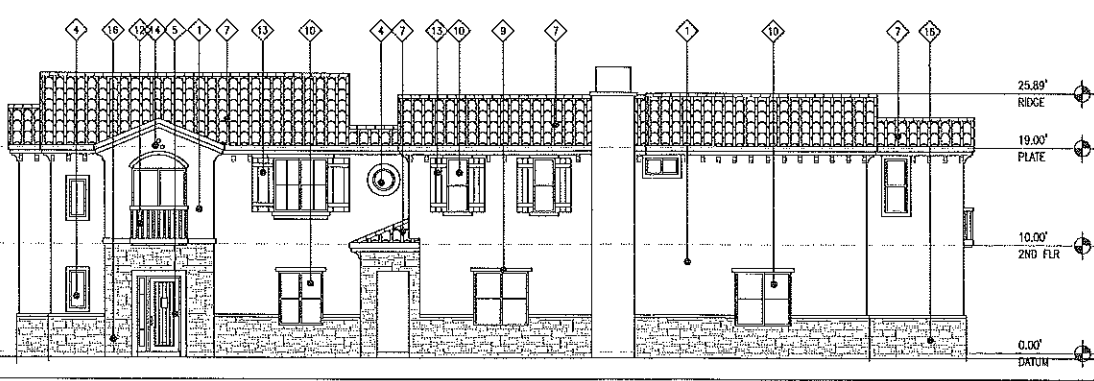
5 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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Project:
Duarte Garden
17 Dwelling Units

Huntington Drive
Duarte, California

Client:
Nevis Homes
659 Huntington Drive
Arcadia, CA
628.234.0159

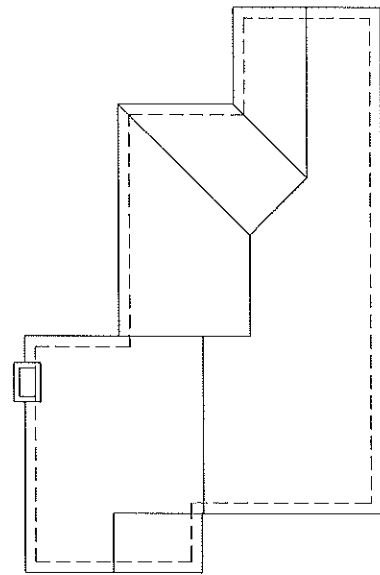
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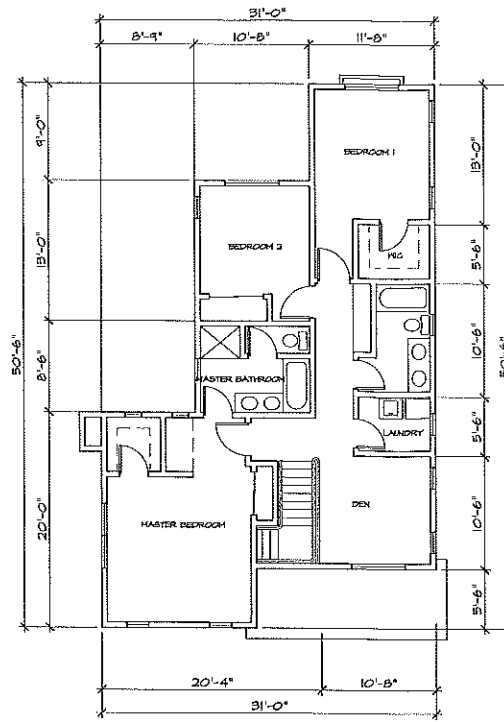
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TYPE F & G
Floor Plans/
Elevations
(UNIT 9 & 10)
CDA Project No. 0420
Date: October 5, 2004
Phase: Subdivision
Checked By: CDA
Drawn By: AC/JL
Plan Check No.:
Revisions:

Drawing No.:
A-107

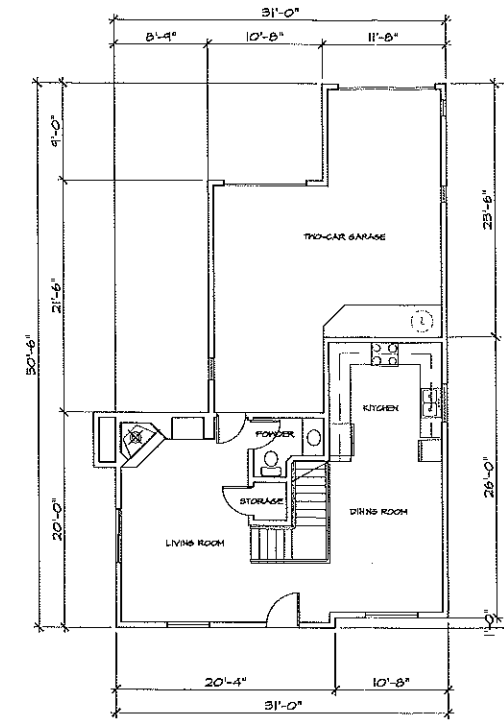
Figure 7H - Elevations



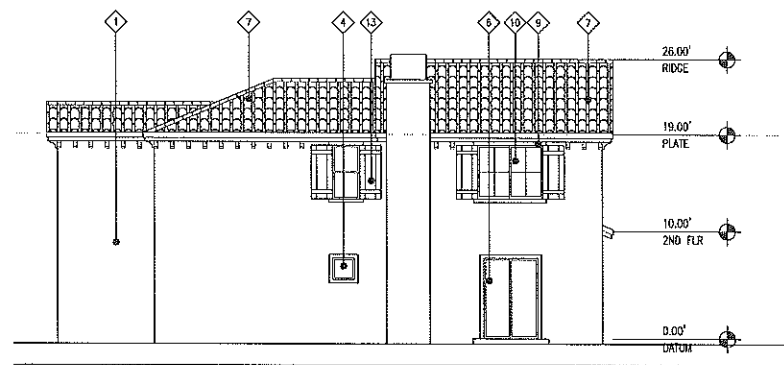
3 ROOF PLAN
SCALE: 1/8" = 1'-0"



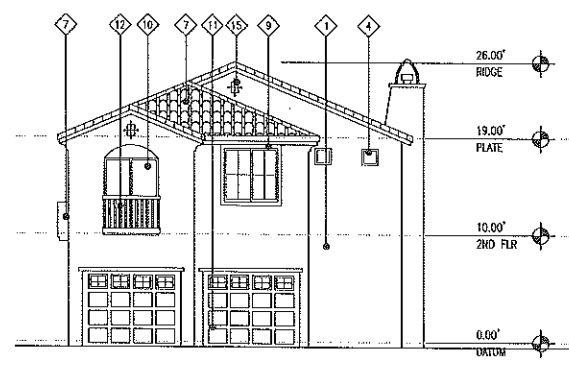
2 SECOND FLOOR PLAN
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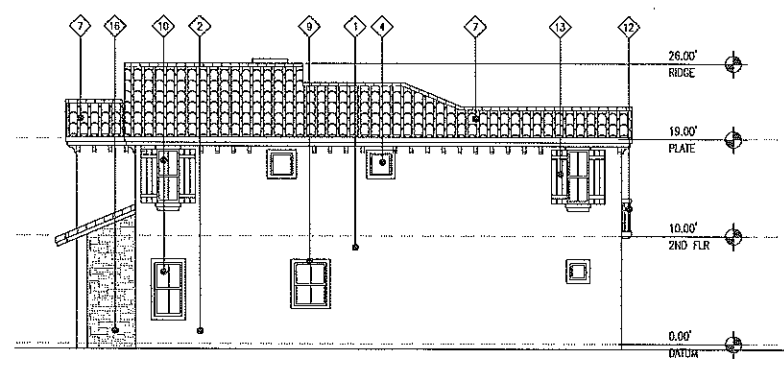
1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



5 LEFT ELEVATION -
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION -
SCALE: 1/8" = 1'-0"



7 RIGHT ELEVATION -
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION -
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
DESCRIPTION	MATERIAL	MFR/ PRODUCT/ FINISH
◇ EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - DUIN EDWARDS SWISS WHITE DE 163
◇ EXTERIOR WALL	EXTERIOR CEMENT PLASTER	COLOR: MATCH - DUIN EDWARDS BRICKER BRUSH DE 136
◇ FINED WINDOW	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
◇ ENTRY DOOR	WOOD / COMPOSITE ASSEMBLY	COLOR: MATCH - FRAME ACCENT COLOR
◇ PATIO DOOR (BIBING)	CLEAR GLASS	SEE TITLE 24 REQUIREMENT
◇ TILE ROOF	CERAMIC TILE	EMBLE - 5615 SANDICE BLEND
◇ WROUGHT IRON GATE		
◇ WINDOW TRIM	WOOD	COLOR: MATCH - DUIN EDWARDS LARSEN BRUSH DE 136
◇ GLAZING	CLEAR GLASS	SEE TITLE 24 REQUIREMENTS
◇ GARAGE ROLL UP DOOR	MFL. COMPOSITE ASSEMBLY	SELECTED BY G.C.
◇ GAMBREL	WROUGHT IRON	PAINT BLACK
◇ WINDOW SHUTTER	WOOD	COLOR: MATCH
◇ PIP VENT	CLAY	
◇ ORNAMENTAL METAL RAIL	WROUGHT IRON	
◇ STONE VENEER	CALIFORNIA STONE VENEER	

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Project:
Duarte Garden
17 Dwelling Units

Huntington Drive
Duarte, California

Client:
Nevis Homes
650 Huntington Drive
Arcadia, CA
626.254.0199

Stamp:



Drawing Title:
TYPE H
Floor Plans/
Elevations
(UNIT 7)
CDA Project No. 0420
Date: October 5, 2004
Phase: Submittals
Checked By: CDA
Drawn By: ACJL
Plan Check No.:
Revisions:

Figure 5A - Street Elevations

DUARTE GARDEN

PLANNED USE DEVELOPMENT AT CITY OF DURATE



A-A

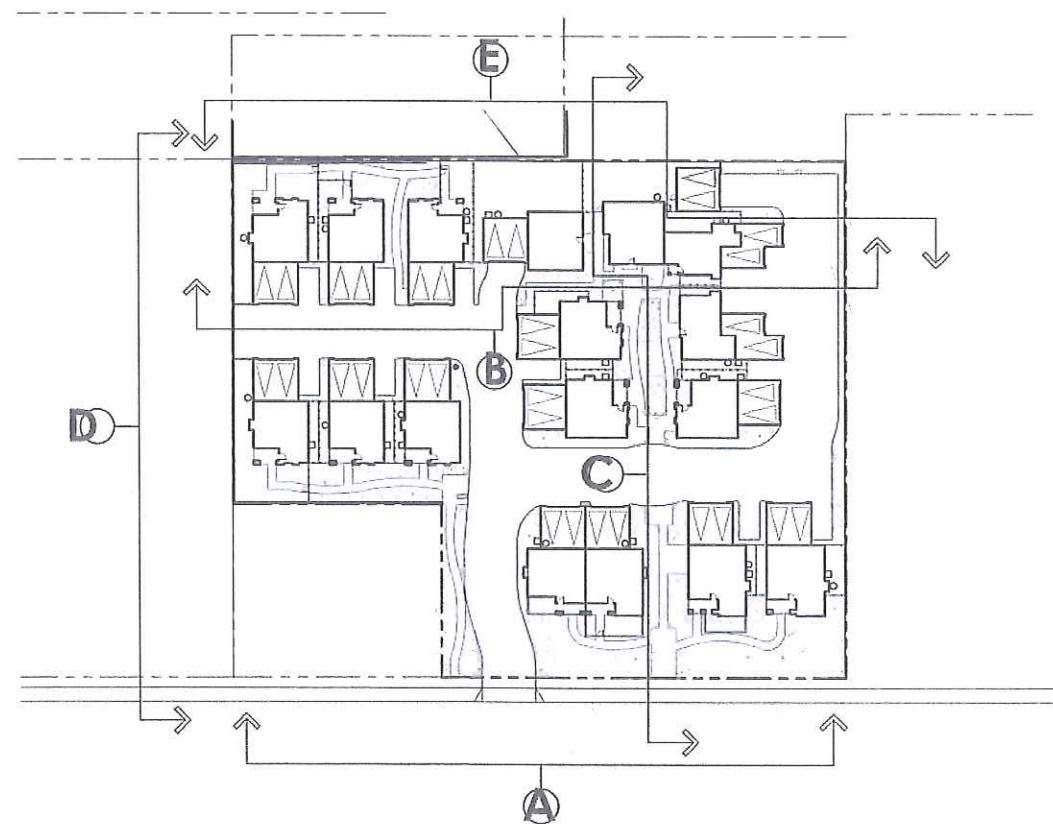


Figure 5B - Street Elevations

DUARTE GARDEN PLANNED USE DEVELOPMENT AT CITY OF DURATE



B-B



C-C

Figure 5C - Street Elevations

DUARTE GARDEN PLANNED USE DEVELOPMENT AT CITY OF DURATE

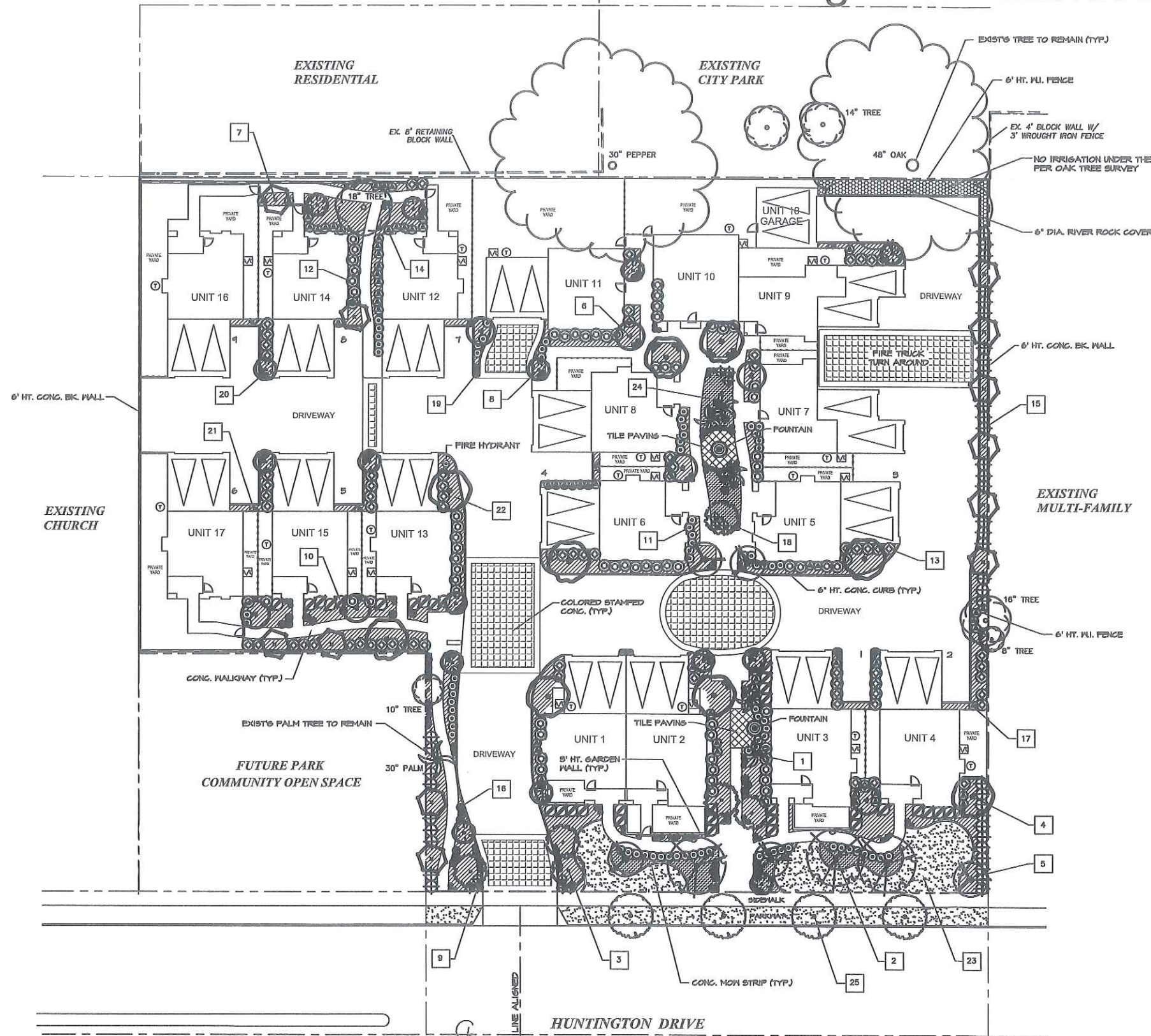


D-D



E-E

Figure 4 - Landscape Plan



PLANT LEGEND

SYMBOL	ITEM NO.	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	TYPE
	1	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM	24" BOX	5	TREE
	2	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	3	TREE
	3	LAGERSTROEMIA INDICA 'CHEROKEE'	RED GRAPE MYRTLE	24" BOX	6	TREE
	4	PYRUS KAWAKAMII	EVERGREEN PEAR	24" BOX	9	TREE
	5	PRUNUS CERASIFERA 'ATROPURPUREA'	PURPLE-LEAF PLUM	24" BOX	5	TREE
	6	EUCALYPTUS TORQUATA	CORAL GUM	15 GAL.	7	TREE
	7	PODOCARPUS MACROPHYLLUS	YEW PINE	15 GAL.	12	TREE
	8	RAPIHOLEPIS HYBRID 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	15 GAL.	15	PATIO TREE
	9	BOUGHIVILLEA 'CRIMSON JEWEL'	CRIMSON JEWEL BOUGHIVILLEA	5 GAL.	12	SHRUB
	10	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	PINK ABELIA	5 GAL.	34	SHRUB
	11	RAPIHOLEPIS INDICA 'PINK LADY'	PINK LADY INDIA HAWTHORN	5 GAL.	60	SHRUB
	12	ESCALLONIA EXONIENSIS 'FRADES'	PINK PRINCESS ESCALLONIA	5 GAL.	70	SHRUB
	13	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5 GAL.	78	SHRUB
	14	HANDIHA DOMESTICA 'COMPACTA'	DWARF HAVENLY BAMBOO	5 GAL.	26	SHRUB
	15	XYLOSMA CONGESTUM 'COMPACTA'	COMPACT XYLOSMA	5 GAL.	41	SHRUB
	16	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	WHEELER'S DWARF PITTOSPORUM	5 GAL.	29	SHRUB
	17	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE ESPALIER	1 GAL.	39	SHRUB
	18	HEMEROCALLIS HYBRID 'ORANGE'	ORANGE DAYLILY	1 GAL.	77	SHRUB
	19	AGAPANTHUS AFRICANUS 'BLUE'	LILY OF THE NILE	1 GAL.	24	SHRUB
	20	PELARGONIUM PELTATUM (PINK & RED)	IVY GERANIUM (PINK & RED)	1 GAL.	70	SHRUB
	21	FICUS REPENS	CREEPING FIG	1 GAL.	8	VINE
	22	AJUGA REPTANS	CARPET BUGLE	FLATS	12" O.C.	GROUND COVER
	23	MARATHON II	TALL FESCUE	SOD	SOD	LAWN
	24	ANNUAL COLOR				
	25	STREET TREE PER CITY REQUIRED				

NOTE:
AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED IN ALL PLANTING AREAS.



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TEL: 800-331-5329
SANDSTONE THREE-TIER FOUNTAIN #287
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FOUNTAIN

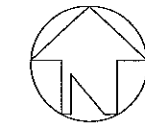


REVISIONS	
DATE	NO
08-10-05	

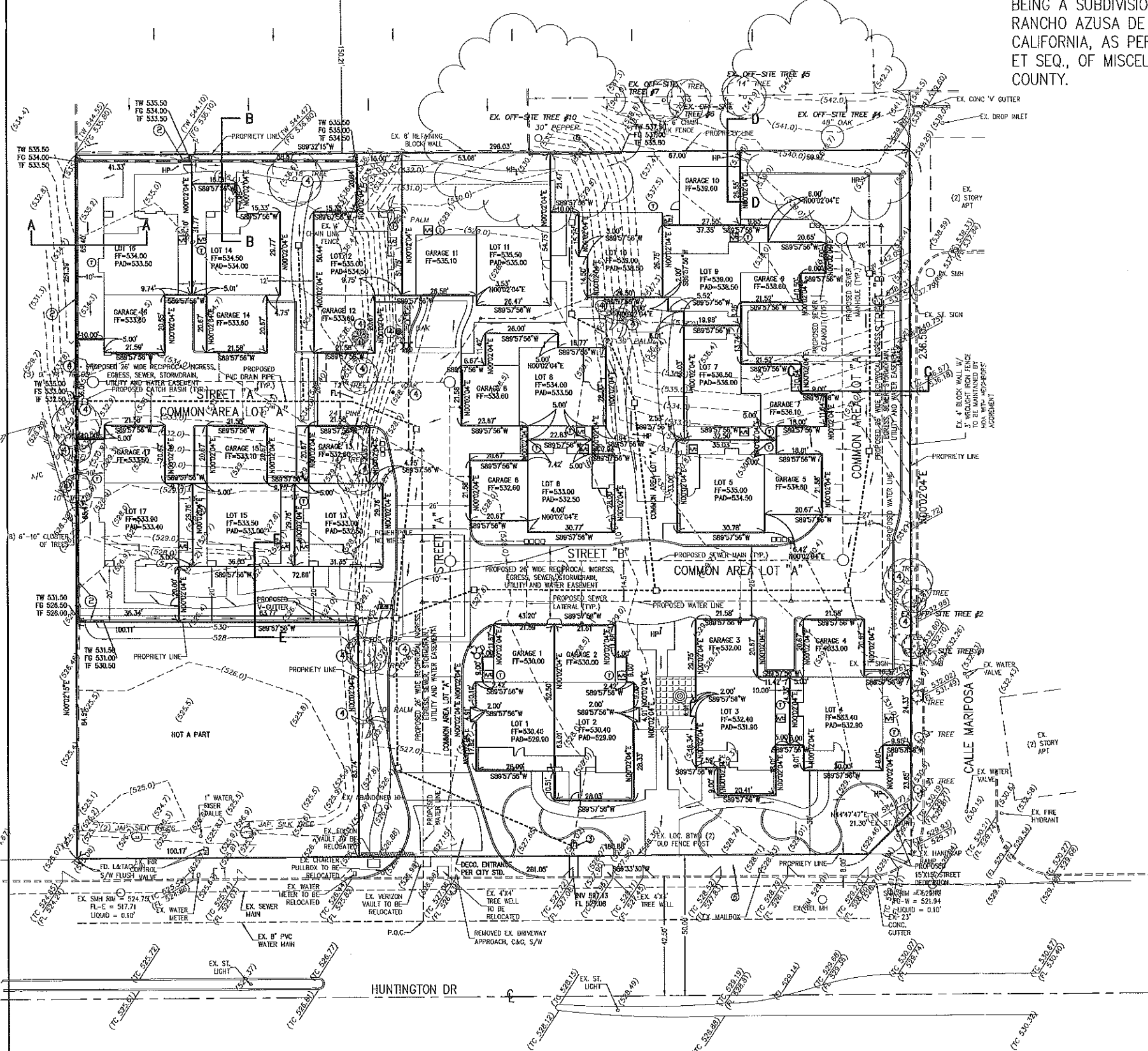
Figure 3 - TENTATIVE TRACT NO. 062319

IN THE CITY OF DUARTE, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

BEING A SUBDIVISION OF A PORTION OF LOT 11 IN SECTION 29 OF THE SUBDIVISION OF THE RANCHO AZUSA DE DUARTE, IN THE CITY OF DUARTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1053 PAGE 285 OF DEEDS AND BOOK 6 PAGE 80 ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



SCALE: 1"=20'

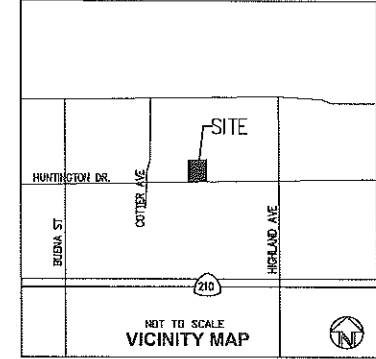


OWNER:
MR. JEFF LEE
1605 HUNTINGTON, LLC
650 W. HUNTINGTON DR., SUITE 201
ARCADIA, CALIFORNIA 91007
PH: 626-254-0099
CITY REDEVELOPMENT AGENCY
1600 HUNTINGTON DR
CITY OF DUARTE, CALIFORNIA
APN: 8530-017-045, 8530-017-046, 8530-017-900

PREPARED BY:
HANK JONG, PE
EGL ASSOCIATES, INC.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CALIFORNIA 91006
PH: 626-263-3588
FAX: 626-263-3599

BENCHMARK:
BM #2-2348
COWNA QUAD BOOK
1985 ADJUSTMENT
ELEV = 538.888'

BASIS OF BEARING:
CL HUNTINGTON DR S89°33'30"W

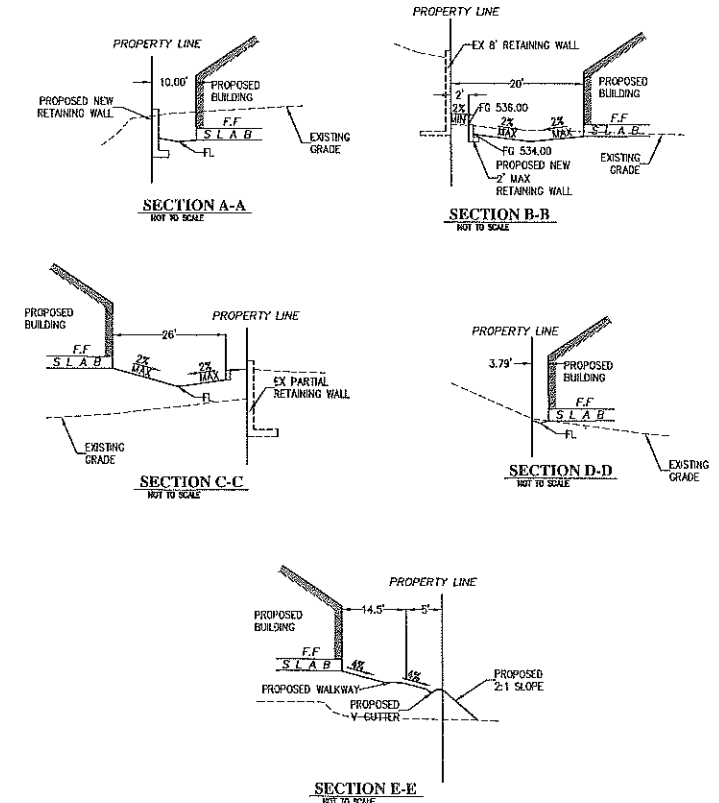


NOTES:
ZONE: C (PRESENT)
SP (PROPOSED)
NO. OF EX. UNITS: 0
NO. OF PROP. UNITS: 17 RESIDENTIAL UNITS
AREA OF LOT: 66,011 SQ. FT. (1.52 ACRES)
NO. OF STORIES: 2
NO. OF PARKINGS: 34 (RESIDENT) + 9 (GUEST)
SEWERAGE DISPOSAL: BY GRAVITY SEWER PIPES TO STREET MAIN.

LOT NO.	AREA (SF.)
1	1,437
2	1,754
3	1,785
4	1,742
5	1,483
6	1,422
7	1,452
8	1,629
9	1,556
10	2,430
11	2,798
12	1,729
13	1,379
14	1,554
15	1,527
16	2,865
17	2,561
COMMON AREA	34,696
TOTAL AFTER DEDICATION	65,899
TOTAL BEFORE DEDICATION	66,011

- REMOVE EXISTING STRUCTURES
- CONSTRUCT RETAINING WALL
- PROPOSED CATCH BASIN WITH NON-TRAFFIC GRATE AND FILTRATION SYSTEM, BY ULTRA-DRAIN/GRATE CATCH BASIN INSERTS, PART # 9275-0/S, OR EQUIVALENT.
- REMOVE EXISTING TREES
- REMOVE & REPLACE EXISTING DRIVEWAYS, CURB GUTTER, SIDEWALK, TREE, AND TREE WELLS TO THE SATISFACTION OF THE CITY ENGINEER

- NEW LOCATIONS OF UTILITY BOXES AND TREE WELL TO BE DETERMINED BY UTILITY COMPANIES AND CITY
- ALL OFFSITE IMPROVEMENTS TO BE CONSTRUCTED BY THE DEVELOPER
- ALL PROPOSED OFFSITE IMPROVEMENTS PLANS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE
- THE PROPOSED OFFSITE IMPROVEMENTS PLANS SHALL BE CONSTRUCTED TO APWA AND CITY STANDARDS
- THE DEVELOPMENT IS SUBJECT TO THE CITY'S NPDES & SUSMP REQUIREMENTS



- LEGEND:**
(527.63).....EXISTING ELEVATION
520.00.....PROPOSED ELEVATION
(-530).....EXISTING CONTOUR
.....DRAINAGE PATTERN
.....PROPOSED STRUCTURE
.....FIRE HYDRANT
.....CATCH BASIN
.....TRASH ENCLOSURE
.....AIR CONDITION
.....RIDGE LINE
P.....PLANTER
B/W.....BACK OF SIDEWALK
EC.....END OF CONCRETE
EP.....END OF PAVEMENT
EX.....EXISTING
TG.....TOP GRATE
INV.....INVERT ELEVATION
FS.....FINISH SURFACE
BP.....BOTTOM OF SUMP PIT
TC.....TOP OF CURB
-D-D-.....DAYLIGHT LINE
T.C.....TOP OF CURB
F.L.....FLOW LINE
F.G.....FINISH GRADE
F.S.....FINISH SURFACE
H.P.....HIGH POINT

PROJECT LOCATION:
17 UNITS
1569, 1605, 1615 HUNTINGTON DRIVE
DUARTE, CALIFORNIA

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REVISIONS BY	DATE
08/17/05	TL
09/28/05	TL
10/19/05	TL
11/02/05	TL
11/15/05	TL
12/07/05	TL
12/16/05	TL
01/10/06	TL

RELEASED DATE

PROPERTY OWNER:
NEVIS CONSTRUCTION
650 W. HUNTINGTON DRIVE SUITE 201
ARCADIA, CA 91007

EGL Associates, Inc.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
Tel: (626) 263-3588
Fax: (626) 263-3599

DATE	05/10/05
DATE	04-177-009
SCALE	1"= 20'
FILE	0417700912.DWG
DRAWING	1 of 1